

COMMITTEE MEMBERS

Trustees

Jennifer Cunningham, Chair
Richard Jay, Vice Chair
Kitty Jung, Member
Cortney Young, Member
Art Sperber, Alternate
Shaun Carey, Alternate

Staff Liaison

Randall Carlton, Chief Finance &
Administration Officer



PRESIDENT/CEO

Daren Griffin, A.A.E.

CHIEF LEGAL COUNSEL

Ian Whitlock

BOARD CLERK

Lori Kolacek

AGENDA

Finance & Business Development Committee

Tuesday, June 11, 2024 | 9:00 AM

Reno-Tahoe International Airport, Reno, NV

Administrative Offices, Second Floor

Notice of Public Meeting

Meetings are open to the public and notice is given pursuant to [NRS 241.020](#).

This meeting will be livestreamed and may be viewed by the public at the following link:

Watch on Zoom: <https://us02web.zoom.us/j/82285429339>

Listen by Phone: Dial 1-669-900-6833

Webinar ID: 822 8542 9339

Accommodations

Members of the public who require special accommodations or assistance at the meeting are requested to notify the Clerk by email at lkolacek@renoairport.com or by phone at (775) 328-6402. Translated materials and translation services are available upon request at no charge.

Public Comment

Anyone wishing to make public comment may do so in person at the Board meeting, or by emailing comments to lkolacek@renoairport.com. Comments received **prior to 4:00 p.m. on the day before the meeting** will be given to the Board for review and included with the minutes of this meeting. To make a public comment during the Zoom meeting, please make sure your computer or device has a working microphone. Use the "Chat" feature to submit a request to speak. When the time comes to make public comments, you will be invited to speak. Public comment is **limited to three (3) minutes** per person. No action may be taken on a matter raised under general public comment.

Posting

This agenda has been posted at the following locations:

1. RTAA Admin Offices, 2001 E. Plumb
2. www.renoairport.com
3. <https://notice.nv.gov/>

Supporting Materials

Supporting documentation for this agenda is available at www.renoairport.com, and will be available for review at the Board meeting. Please contact the Board Clerk at lkolacek@renoairport.com, or (775) 328-6402 for further information.

1. INTRODUCTORY ITEMS

- 1.1 Call to Order
- 1.2 Roll Call

2. PUBLIC COMMENT

3. APPROVAL OF MINUTES

- 3.1 May 21, 2024, Finance & Business Development Committee meeting

4. INFORMATION, DISCUSSION AND/OR POSSIBLE ACTION ITEMS

- 4.1 Development ground lease business terms adjustments regarding JMA Reno Hotel Holdings, LLC (Aloft), and Stellar Aviation of Reno-Tahoe, LLC

5. ITEMS FOR CONSIDERATION BY THE FULL BOARD ON JUNE 13, 2024

- 5.1 Board Memo No. 06/2024-32 (*For Possible Action*): Review, discussion and potential authorization for the President/CEO to execute an Equipment Contract for a Class IV Vehicle for the Reno-Tahoe Airport Authority's Airport Rescue and Fire Fighting Department, with Rosenbauer Minnesota, LLC, for a base bid of \$1,033,494 and one alternate equaling \$34,657 for a total price of \$1,068,151 subject to Federal Aviation Administration review and approval

6. ADMINISTRATIVE REPORTS (*provided for reference only*)

- 6.1 Administrative Award of Contracts (Expenditures) - May 2024
- 6.2 Administrative Award of Contracts (Revenues) - May 2024
- 6.3 Financial Reporting Package - April 2024

7. MEMBER COMMENTS, QUESTIONS AND REQUESTS

8. PUBLIC COMMENT

9. ADJOURNMENT

COMMITTEE MEMBERS

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PRESIDENT/CEO

Daren Griffin, A.A.E.

CHIEF LEGAL COUNSEL

Ian Whitlock

BOARD CLERK

Lori Kolacek

--DRAFT--

MINUTES

Finance & Business Development Committee

Tuesday, May 21, 2024 | 9:00 AM

Reno-Tahoe International Airport, Reno, NV

Administrative Offices, Second Floor

1. INTRODUCTORY ITEMS

Chair Cunningham called the meeting to order at 9:00 a.m. Roll was taken by the Clerk.

Members Present: Jennifer Cunningham, Richard Jay, Kitty Jung, Cortney Young

2. PUBLIC COMMENT

Chair Cunningham called for public comment. There was none.

3. APPROVAL OF MINUTES

3.1 April 9, 2024, Finance & Business Development Committee meeting

Chair Cunningham asked if there were any corrections to the Minutes of April 9, 2024. Hearing none, the Minutes were approved as presented.

4. INFORMATION, DISCUSSION AND/OR POSSIBLE ACTION ITEMS

None

5. ITEMS FOR CONSIDERATION BY THE FULL BOARD ON MAY 23, 2024

5.1 Board Memo No. 05/2024-16 (For Possible Action): Review, discussion and potential authorization for the President/CEO to execute a one-year contract for the Reno-Tahoe Airport Authority employee workers' compensation insurance coverage for Fiscal Year 2024-2025, with Starr Aviation, in the amount of \$145,367

This item was presented by Julie Blevins, Labor Relations and Benefits Manager. After discussion, the Committee took the following action:

Motion: Recommend that this item be presented to the full Board on May 23, 2024, for consideration and approval of the proposed motion: *“Move to authorize the President/CEO to execute a one-year contract with Starr Aviation to provide workers’ compensation insurance for RTAA employee on-the-job injuries for Fiscal Year 2024-2025, in the amount of \$145,367.”*

Moved by: Richard Jay

Seconded by: Cortney Young

Vote: Passed unanimously by voting members

5.2 Board Memo No. 05/2024-17 (For Possible Action): Review, discussion and potential authorization for the President/CEO to execute a five-year contract for the operation and maintenance of the Baggage Handling System to Daifuku Services America Corporation in accordance with requirements of the original manufacturer and the Transportation Security Administration with the five-year total for all services in the amount of \$8,231,595.73

This item was presented by Chris Cobb, Facilities and Maintenance Director. After discussion, the Committee took the following action:

Motion: Recommend that this item be presented to the full Board on May 23, 2024, for consideration and approval of the proposed motion: *“Move to authorize the President/CEO to execute a five-year contract for the operation and maintenance of the Baggage Handling System to Daifuku Services America Corporation in accordance with requirements of the original manufacturer and the Transportation Security Administration the five-year total for all services in the amount of \$8,231,595.73.”*

Moved by: Kitty Jung

Seconded by: Richard Jay

Vote: Passed unanimously by voting members

5.3 Board Memo No. 05/2024-19 (For Possible Action): Review, discussion and potential adoption of the Reno-Tahoe Airport Authority’s Fiscal Year 2024-25 Budget (July 1, 2024 through June 30, 2025)

(Trustee Jay left the meeting at 9:27 and returned at 9:43. He was absent for the entire presentation on this item and therefore abstained from voting.)

This item was presented by Alex Kovacs, Director of Finance. After discussion, the Committee took the following action:

Motion: Recommend that this item be presented to the full Board on May 23, 2024, for consideration and approval of the proposed motion: *“Move that the Board of Trustees adopts the budget of the Reno-Tahoe Airport Authority for Fiscal Year 2024-25 as presented.”*

Moved by: Kitty Jung

Seconded by: Cortney Young

Abstained: Richard Jay

Vote: Passed unanimously by voting members

5.4 Board Memo No. 05/2024-20 (*For Possible Action*): Review, discussion and potential adoption of Resolution No. 567 Amending Resolution No. 565, Establishing the Airport Rates and Charges for Fiscal Year 2024-25 Pursuant to the Reno-Tahoe Airport Authority Budget for Fiscal Year 2024-25

This item was presented by Alex Kovacs, Director of Finance. After discussion, the Committee took the following action:

Motion: Recommend that this item be presented to the full Board on May 23, 2024, for consideration and approval of the proposed motion: *“Move to adopt Resolution No. 567 amending Resolution No. 565 establishing the Airport Rates and Charges for Fiscal Year 24-25 pursuant to the RTAA’s proposed Budget for Fiscal Year 2024-25.”*

Moved by: Kitty Jung

Seconded by: Cortney Young

Vote: Passed unanimously by voting members

5.5 Board Memo No. 05/2024-21 (*For Possible Action*): Review, discussion and potential approval of Investment Banking Pool of Underwriters Related to the Issuance of Airport Revenue Bonds by the Reno-Tahoe Airport Authority for the MoreRNO Program of Projects with BofA Securities Inc., Jefferies LLC, Samuel A. Ramirez & Co., Wells Fargo Corporate & Investment Banking, Academy Securities Inc., Loop Capital Markets, RBC Capital Markets LLC, and Stifel Nicolaus & Company Inc. and Underwriter Assignments for the Initial Issuance of Bonds Anticipated in 2024

At the beginning of this item, Richard Jay, an employee of Wells Fargo Advisors, an affiliate of Wells Fargo, recused himself from any discussion and/or vote on this item pursuant to NRS Section 281A. (*See attached recusal letter.*)

This item was presented by Randall Carlton, Chief Finance and Administration Officer. After discussion, the Committee took the following action:

Motion: Recommend that this item be presented to the full Board on May 23, 2024, for consideration and approval of the proposed motion: *“Move to approve the Investment Banking Pool of Underwriters Related to the Issuance of Airport Revenue Bonds by the Reno-Tahoe Airport Authority for the MoreRNO Program of Projects with BofA Securities Inc., Jefferies LLC, Samuel A. Ramirez & Co., Wells Fargo Corporate & Investment Banking, Academy Securities Inc., Loop Capital Markets, RBC Capital Markets LLC, and Stifel Nicolaus & Company Inc. and Underwriter Assignment for the Initial Issuance of Bonds Anticipated in 2024.”*

Moved by: Cortney Young

Seconded by: Kitty Jung

Recused: Richard Jay

Vote: Passed unanimously by voting members

5.6 Board Memo No. 05/2024-22 (For Possible Action): Review, discussion and potential approval of Resolution No. 568 Authorizing Declarations of Official Intent Under Internal Revenue Code Regulations with Respect to Reimbursements from Bond Proceeds of Advances Made for Payments Prior to Issuance and Related Matters

This item was presented by Randall Carlton, Chief Finance and Administration Officer. After discussion, the Committee took the following action:

Motion: Recommend that this item be presented to the full Board on May 23, 2024, for consideration and approval of the proposed motion: *“Move to Adopt Resolution No. 568 Authorizing Declarations of Official Intent Under Internal Revenue Code Regulations with Respect to Reimbursements from Bond Proceeds of Advances Made for Payments Prior to Issuance and Related Matters.”*

Moved by: Richard Jay

Seconded by: Cortney Young

Vote: Passed unanimously by voting members

5.7 Board Memo No. 05/2024-23 (For Possible Action): Review, discussion and potential adoption of Reno-Tahoe Airport Authority Fiscal Year 2024-25 Liability and Property Insurance Program and Approval of Premiums in the Amount Not to Exceed \$1,630,000

This item was presented by Alex Kovacs, Director of Finance. After discussion, the Committee took the following action:

Motion: Recommend that this item be presented to the full Board on May 23, 2024, for consideration and approval of the proposed motion: *“It is hereby moved that the Board of Trustees approves the Fiscal Year 2024-25 Liability and Property Insurance Program and authorizes the President/CEO, or his designee, to bind the coverages and pay the FY 2024-25 premiums in the amount not to exceed \$1,630,000.”*

Moved by: Kitty Jung

Seconded by: Cortney Young

Vote: Passed unanimously by voting members

6. ADMINISTRATIVE REPORTS (provided for reference only)

6.1 Administrative Award of Contracts (Revenues) - April 2024

There was no discussion on this item.

6.2 Administrative Award of Contracts (Expenditures) - April 2024

Chair Cunningham inquired about the blank entry for EDawn. Staff indicated that they would look into it and respond.

6.3 Financial Reporting Package - March 2024

There was no discussion on this item.

7. MEMBER COMMENTS, QUESTIONS AND REQUESTS

Chair Cunningham called on the Members for any comments, questions or requests. There was none.

8. PUBLIC COMMENT

Chair Cunningham called for public comment. There was none.

9. ADJOURNMENT

Chair Cunningham adjourned the meeting at 10:19 a.m.

May 17, 2024

Reno Tahoe Airport Authority
2001 E Plumb Lane
Reno, NV 89502

Recusal from agenda

Daren Griffin, CEO
Carol Chaplin-Chairwoman

Please accept this letter of recusal from the agenda item to be heard May 23, 2024

Board Memo No. 05/2024-21 (For Possible Action): Review, discussion, and potential approval of Investment Banking Pool of Underwriters Related to the Issuance of Airport Revenue Bonds by the Reno-Tahoe Airport Authority for the MoreRNO Program of Projects with.

BofA Securities Inc.,
Jefferies LLC,
Samuel A. Ramirez & Co.,
Wells Fargo Corporate & Investment Banking,
Academy Securities Inc.,
Loop Capital Markets,
RBC Capital Markets LLC, and
Stifel Nicolaus & Company Inc. and Underwriter Assignments
for the Initial Issuance of Bonds Anticipated in 2024

As an employee of Wells Fargo Advisors, an affiliate of Wells Fargo, I must recuse myself from any conversation and/or vote on the matter.

Please enter this into the public records.

Sincerely,


Richard L. Jay
Board member

Board Memorandum

06/2024-32

In Preparation for the Regular Board Meeting on June 13, 2024

Subject: Authorization for the President/CEO to execute an Equipment Contract for a Class IV Vehicle for the Reno-Tahoe Airport Authority's Airport Rescue and Fire Fighting Department, with Rosenbauer Minnesota, LLC, for a Base Bid of \$1,033,494 and One Alternate Equaling \$34,657 for a Total Price of \$1,068,151 Subject to Federal Aviation Administration Review and Approval

STAFF RECOMMENDATION

Staff recommends that the Board adopt the motion stated below.

BACKGROUND

Under FAA established criteria in Federal Aviation Regulation (FAR) Part 139, the Reno-Tahoe International Airport (RNO) is an Index C airport. As an index C airport, RNO is required to have at minimum 2 pieces of ARFF apparatus with at least 1,500 gallons of water each (total of 3,000 gallons), 200 gallons of foam each (total of 400 gallons) and 500 lbs. of dry chemical extinguishing agent each (total of 1000 lbs.) Should the airport have a piece of apparatus out of service and therefore drop below index, commercial flight operations would cease until the required apparatus could be placed back in service, so prudent management requires that RNO exceed the minimum to allow for maintenance of apparatus or for apparatus to be committed to an incident without "dropping index".

Currently in the RNO ARFF fleet, we have four pieces of ARFF apparatus: 1) 2016, 3000 gallon, Rosenbauer Panther; 2) 2023 1500-gallon Rosenbauer Panther; 3) 2004, 1500-gallon Oshkosh Stryker; 4) 1996 1500 E-One Titan. FAA Advisory Circular 150/5220 10-E provides the guidance for the replacement of ARFF apparatus as follows:

The manufacturers of firefighting apparatus and fire departments do not have hard and fast rules as to when a vehicle must be replaced. However, the fire equipment manufacturing industry does develop, as part of their customer service focus, forecast models based on life expectancy and life cycle operating and maintenance costs. These models predict hours of operation, mileage, material wear and longevity, and operating costs. On average, an ARFF vehicle normally has a 10-12 year service life and, in many cases, even longer based on an airports' level of activity. The following items should be considered as relevant factors when considering fire fighting vehicle replacement.

- a. *Reliability and serviceability is questionable.*
- b. *Parts for repair (including after-market) are no longer available.*
- c. *Annual operating cost becomes excessive.*
- d. *Service life has been extended beyond the vehicle’s normal field service life.*
- e. *Repair cost exceeds 75% of the current estimated value of the apparatus.*
- f. *Introduction of new and different aircraft to the airport which changes the airport index.*
- g. *Relative overall age of the airport fire fighting vehicle fleet to allow for programmed replacement over a span of years.*

Based on the FAA criteria listed above, most, if not all the factors justify the replacement of both the 1996 E-One and 2004 Oshkosh trucks.

With the delivery of this new piece of apparatus, staff plans to remove both the 1996 E-One and the 2004 Oshkosh from service.]

DISCUSSION

An Invitation to Bid (ITB) for the Class IV Airport Rescue and Fire Fighting (ARFF) vehicle was advertised on May 6, 2024, on the renoairport.com website, in the *Reno Gazette-Journal*, and via the Nevada Government e-Marketplace (NGEM).

Sealed bids were received by the due date of May 24, 2024. One bid from Rosenbauer Minnesota, LLC. was received and deemed responsive. The bid tabulation is shown in the below table.

Bid Tabulation	Rosenbauer Minnesota LLC	
Make/Model	Panther 1500 Gallon 4x4	
Pricing		
	Base bid	\$1,033,494
	Training	\$ 3,800
	Delivery Cost	\$ 9,500
	Required Revision C-2 (attached)	\$ 34,657
Total		\$1,068,151

FISCAL IMPACT

The purchase of this apparatus will be funded through a congressionally directed line item (earmark) of \$911,140 with the remaining funds (\$157,011) to come from RTAA reserves. The contract requires an initial payment of 25% (\$267,037.75) at the time of board approval of the contract with the remainder (\$801,113.25) to be paid upon delivery of the apparatus. Because the estimated delivery date is 550 days no RTAA funds will be required until fiscal year 2026 and will be budgeted accordingly. The entirety of the purchase is subject to review and approval by the

Federal Aviation Administration (FAA) for compliance with grant requirements including, but not limited to, Buy American Certifications and/or waivers.

COMMITTEE COORDINATION

None

PROPOSED MOTION

“Move to authorize the President/CEO to execute an Equipment Contract for a Class IV Vehicle for the Reno-Tahoe Airport Authority’s Airport Rescue and Fire Fighting Department, with Rosenbauer Minnesota, LLC, for Base Bid of \$1,033,494 and One Alternate Equaling \$34,657 for a Total Price of \$1,068,151 Subject to Federal Aviation Administration Review and Approval.”



Administrative Report

Date: June 11, 2024

Subject: Administrative Award of Contracts (Expenditures)
Pursuant to Resolution No. 557– May 2024

BACKGROUND

At the July 14, 2022, Board of Trustees' Meeting of the Reno-Tahoe Airport Authority, the Board approved Resolution No. 557 authorizing the President/CEO to administratively award contracts for:

- budgeted professional services when the scope of work is \$200,000 or less, and to approve amendments where the sum of the total net of amendments per agreement does not to exceed \$50,000; and
- budgeted goods, materials, supplies, equipment, technical services, and maintenance contracts when the estimated amount to perform the contract, including all change orders, is \$250,000 or less; and
- budgeted construction contracts when the estimated amount to perform the work is \$500,000 or less, and approve change orders to construction contracts where the sum of the total net of change orders per contract does not exceed \$250,000; and
- budgeted Construction Management and Administration professional service agreements and amendments ("Work Order") where a single Work Order does not exceed \$250,000.

All construction contracts exceeding \$500,000 must be approved by the Board of Trustees, along with a request to establish an Owner's Contingency. Additionally, if the Board of Trustees originally approved the construction contract, any construction change order exceeding the sum of the total of the contract and Owner's Contingency must also be approved by the Board.

DISCUSSION

Resolution No. 557 requires that the President/CEO provide the Board of Trustees with a monthly administrative report listing of all agreements and purchase orders more than \$25,000 and approved administratively as a result of this Resolution. Further, all change orders and amendments approved administratively as a result of this Resolution shall also be included in this administrative report regardless of value.

Agreements and POs in Excess of \$25,000

Date	Name of Company	Dollar Amount	Description	Funding Source	Department / Division
05/08/24	Daifuku Services of America	\$38,100.00	A NTE time & materials contract was issued for inventory for parts and repairs for the Baggage Handling System.	FY24 O&M	Baggage Handling System
05/14/24	Chipman Corp. DBA Chipman International	\$26,009.25	A PO was issued for moving and relocation services for new hire, Executive Staff.	FY24 O&M	People, Culture & Equity
05/14/24	VCOM Solutions, Inc.	\$31,458.27	A PO was issued for various Border Gateway Protocol (BGP) hardware components.	FY24 O&M	Technology & Information Systems
05/15/24	Delta Fire Systems	\$39,562.00	A PO was issued for the installation of a fire detection and suppression control system in the Aircom IT room. This was performed as an informal bidding process. Three additional vendors were requested to bid with no responses from any of them, including Trophy Peak Fire, Overhead Fire, and Johnson Controls, Inc.	FY24 O&M	Engineering & Construction
05/31/24	Incline Technology Consulting, LLC	\$74,680.88	A technical services contract was issued for security software.	FY24 O&M FY25 O&M	Technology & Information Systems

Key to abbreviations:

AIP = Airport Improvement Project
 CIP = Capital Improvement Program
 CFC = Customer Facility Charge

CO = Change Order
 NTE = Not to Exceed
 PFC = Passenger Facility Charge

PO = Purchase Order
 PSA = Professional Service Agreement

Change Orders and Amendments

Date	Name of Company	Dollar Amount	Description	Funding Source	Department / Division
05/15/24	Genuine McCarthy Enterprises Inc., dba McCarthy Building Companies, Inc.	(\$19,000.00)	Deductive CO #6 (attached) for the Ticketing Hall Expansion Project was issued to decrease Schedule of Values Owner's Contingency. Total contract value, including this CO, equals \$25,787,971.68.	FY23 CIP	Engineering & Construction
05/21/24	Verizon Businesses Networking Services, LLC	\$5,500.00	Incremental scope for FY24 required increased in underlying technical contract for 1-G internet services. This is a multi-year contract, and decommissioning of certain circuits over next several months, with more changes coming in next several years. Total multi-year contract value equals \$129,530.13.	FY24 O&M	Technology & Information Systems
05/23/24	Waters Vacuum Truck Services, inc.	\$29,490.00	CO#1 for first extension (YR 2 of 5) for sand/oil separator technical services contract.	FY25 O&M	Airfield Maintenance
05/30/24	Wood Rodgers, Inc.	\$0.00	Amendment #1 was issued to extend the completion date for the TWY B/GA Runup Construction Administration PSA due to the construction schedule. No Cost amendment.	FY23 AIP	Engineering & Construction
06/03/24	Guardian Quest, Inc	\$10,169.91	Amendment #1 was issued for additional scope of work associated with Organizational DEI Training. Total PSA, including Amendment #1, equals \$35,169.91.	FY24 O&M	People Ops
Multiple	Q & D Construction, LLC	multiple	Multiple COs (attached) were issued for the Automated Exit Lanes Project. CO#2 for modifications to scope of work (\$2,769.61). CO#3 for DormaKaba shop drawing coordination (\$4,757.14). CO#4 for additional signage (\$23,641.87). Total contract, including all COs, equals \$406,279.73.	FY24 CIP	Engineering & Construction
Multiple	Q & D Construction, LLC	multiple	Multiple COs (attached) were issued for the Terminal Loop Road Reconstruction Project. Owner's Contingency CO (OCCO) #7 for additional scope of work for the Green Lot Parking Lot sidewalk and dog part (PFC funded = \$3,916.62). CO#4 for increased costs associated with Buy American Preferences (AIP funded = \$38,357.10). OCCO#8 for additional scope of work associated with miscellaneous utility conflict (PFC funded = \$12,485.32). OCCO #9 for additional scope of work for median crossover (PFC funded = \$24,005.00). Total contract, including all COs, equals \$12,195,203.60.	FY22 AIP FY24 PFC	Engineering & Construction

CHANGE ORDER

Distribution to:
 RTAA PURCHASING
 PM
 CM
 ENGINEER
 CONTRACTOR
 FAA

Reno-Tahoe Airport Authority
 Reno-Tahoe International Airport
 Reno-Stead Airport
 Box 12490
 Reno, NV 89510



Project: Ticketing Hall Expansion Project, GMP No. 2

Solicitation #: RFP #21/22-03

To: McCarthy Building Companies, Inc.
 2580 St. Rose Pkwy, Ste. 200
 Henderson, NV 89074

Change Order Number 06
 Change Order Initiation Date: May 8, 2024
 AIP No. N/A
 Original Contract Date: September 8, 2022

You are directed to make the following changes in the Contract:

Decrease Schedule of Values Line Item No. 34 - Owners Contingency by \$19,000.00. Funds to be transferred to RTAA soft costs for payment of items outside of the contract. (\$19,000.00)

All other terms, conditions, and requirements not modified herein remain unchanged.

Not valid until signed by ALL parties. Execution of this Change Order by both Owner and Contractor constitutes a binding agreement and serves as a full accord and satisfaction of any claim, demand, lien, stop notice or further request for compensation, past or present, known or unknown, and/or time extension arising out of or by virtue of the work described above in the Change Order. Contractor's signature indicates agreement herewith, including any adjustments in the Contract Sum or Contract Time.

The Original Contract Sum was.....	\$25,678,143.00
Net Changes by Previously Authorized Change Orders	\$128,828.68
Net Changes by Previously Authorized Contingency Change Orders	\$0.00
The Revised Contract Sum Prior to this Change Order was	\$25,806,971.68
The Contract Sum will decrease by this Change Order.....	(\$19,000.00)
The new Contract Sum, including this Change Order will be.....	\$25,787,971.68

The Contract Completion date prior to this Change Order is July 3, 2024.
 The Contract Time will not change due to this change order.

Authorized By:

Atkins North America
 Owner's Representative
 10509 Professional Cir. Ste 103
 Reno, NV 89521

RS&H
 Architect
 369 Pine Street, Suite 610
 San Francisco, California 94104

McCarthy Building Companies Inc.
 Contractor
 2580 St. Rose Pkwy, Ste. 200
 Henderson, NV 89074

Reno-Tahoe Airport Authority
 Owner
 P.O. Box 12490
 Reno, NV 89510

By: Kara Bymers

By: Geoff Chevlin

By: Ross Edwards

By: Jackie Borman

05/08/2024
 Date

5-09-2024
 Date

5/9/2024
 Date

5.15.24
 Date

RENO-TAHOE AIRPORT AUTHORITY CONTINGENCY CHANGE ORDER



CCO No.

Contractor:

Project:

Solicitation Number:

Summary of Change and List of Attachments:

This Contingency Change Order sets forth the terms and conditions to provide labor, equipment, material and full compensation to reroute the existing flex outside the VAV and install a new junction box near the access panel to the VAV per the response to RFI No. 06.

The following will be added to the schedule of values:
 PCO No. 02 - RFI 6 Modifications \$2,769.61

Enclosures:
 Q&D Construction Change Order Request No. 02 dated February 26, 2024
 RFI No. 06

Contingency Change Order Summary:

Contract Contingency Total:	\$	<input type="text" value="50,000.00"/>	
Total Previously Approved:	\$	<input type="text" value="11,679.11"/>	
Total Change this Authorization:	\$	<input type="text" value="2,769.61"/>	ADD
Remaining Contingency Balance:	\$	<input type="text" value="35,551.28"/>	

Change in Contract Times:

Original Duration:	<input type="text" value="90"/>
Previous Authorization:	<input type="text" value="0"/>
This Authorization:	<input type="text" value="0"/>
Revised Contract Time:	<input type="text" value="90"/>

Contract Summary:

Original Contract:	\$	<input type="text" value="366,432.00"/>
Total Previously Approved CO's	\$	<input type="text" value="0.00"/>
Total Previously Approved CCO's	\$	<input type="text" value="11,679.11"/>
Contract Sum Prior to this CCO	\$	<input type="text" value="378,111.11"/>
Total Change this Authorization:	\$	<input type="text" value="2,769.61"/>
New Contract Sum:	\$	<input type="text" value="380,880.72"/>

Contractor Signature *Sharon Groux* Date: 3/25/24

Project Mgr Signature _____ Date: _____

Q&D Construction, Senior Project Engineer: Sharon Groux

RTAA Project Mgr: Jon Lau

Construction Mgr Signature *Joe Mamola* Date: March 22, 2024

Manager Signature _____ Date: _____

CME, Construction Manager: Joe Mamola

RTAA Mgr Engineering & Construction: Jackie Borman

CHANGE ORDER REQUEST

PCO No. 002

Project No.: 16705. - RNO Auto Exit Lanes

Date: 02/26/2024

To: Joe Mamola
Reno-Tahoe Airport Authority
2001 E. Plumb Lane
Reno, NV 89502

From: Sharon Groux
Q&D Construction LLC
PO Box 10865
Sparks, NV 89510

Phone: 775-745-6996

Phone:

Fax:

Fax:

Email:

Email: sgroux@qdconstruction.com

cc:

Below is the detail for our proposal to complete the following changes in contract work:

- Change Order Request: Per RFI 6, add conduit to reroute existing flex outside VAV.
- Proposed Scope of Work: Per RFI 6, add conduit in order to reroute existing flex outside of the VAV. Install a new junction box near access panel to the VAV.

PCO Item	Change (in Days)	Amount
1 : Apollo Mechanical - Proposal dated 2/5/24 Furnish and install added conduit to reroute existing flex outside of the VAV. Install a new junction box near access panel to the VAV.		\$2,383.61
2 : QD - 1% G/L Insurance		\$24.00
3 : QD- 15% Contractor Fee		\$362.00

Total \$ \$2,769.61

Submitted By:

Approved By:

02/26/2024

Sharon Groux

Date

Reno-Tahoe Airport Authority

Date

Subcontract Change Order Proposal

Company:

Company:	Apollo Mechanical
Contact:	Sam Budnick/Nate Bettesworth
Address:	1201 W Columbia Drive
City, State Zip:	Kennewick, WA 99336
Telephone:	509.586.1104
Fax:	

Project:

Name:	RNO Auto Exit Lanes
Date:	2/5/24
PCO #:	
Contract #:	
Subcontractor's Proposal/Reference#:	TBD

Drawing Number(s):	Description of Change:
	Installing Added Conduit for Existing Wiring to Auto Exit Lane Area VAV

Item	Labor - itemized description	Qty	Unit	Labor Rate	Itemized Line Item Subtotal
1	Pipefitter - General Foreman	0	hrs	\$ 115.84	\$ -
2	Pipefitter - Journeyman	0	hrs	\$ 108.92	\$ -
3	Project Engineer	0	hrs	\$ 78.10	\$ -
4	Project Manager	2	hrs	\$ 132.74	\$ 265.48
5	QA/QC Manager	0	hrs	\$ 125.19	\$ -
6			hrs		\$ -
Labor Subtotal:					\$ 265.48

Item	Materials - itemized description	Qty	Unit	Unit Price	Itemized Line Item Subtotal
1			ea		\$ -
2			ea		\$ -
22			ea		\$ -
23				\$ -	\$ -
Materials Subtotal:					\$ -

Item	Equipment - itemized by equipment	Qty	Unit	Unit Price	Itemized Line Item Subtotal
1			ea		\$ -
Rent of Equipment Subtotal:					\$ -

Item	Other - itemized description for each line item	Qty	Unit	Unit Price	Itemized Line Item Subtotal
1			ea	\$ -	\$ -
Other Subtotal:					\$ -

Summary:

This Change Order proposal is made in good faith. The supporting data is accurate and complete. The amount requested accurately reflects the Contract adjustment for which (enter Subcontractor name) believes Turner is liable.

Labor, Materials, Equipment, Other Subtotal:	\$	265.48
Overhead and Profit 10%	\$	27.00
Subcontractors Subtotal:	\$	292.48

Item	SubTier Contractors	Quote
1	Emcor Controls	\$ 1,991.13
2		\$ -

Second Tier Subcontractor(s) Subtotal:	\$	1,991.13
Overhead and Profit 5.00%	\$	100.00
Second Tier / Subtier Subtotal:	\$	2,091.13

Subcontractor + 2nd tier Subcontractor(s) Subtotal:	\$	2,383.61
Bond 0.00%	\$	-
Total this Page:	\$	2,383.61
Total from Previous Pages	\$	-

Sam Budnick 2/5/2024

Submitted by:

Date:

Proposal Grand Total: **\$ 2,383.61**

Mesa Energy Systems, Inc / Emcor Services Nevada						
4098 S. McCarran Blvd						
Reno, NV 89502						
(775) 895-0584						
ccomeaux@emcor.net						
CO#1 - Add conduit to existing control wiring						
Qty		Material/Equip.	Mat./equip Totals	Field Labor	TotalField Labor	Supervision/Prog/graphics Labor
1	Pull back and preserve existing wiring	\$ -	\$ -	2	2	0
60	Add conduit to original scope of work	\$ 3.75	\$ 225.00	0.12	7.2	1.5
		Totals	\$ 225.00		9.2	1.5
					N/A	N/A
		Hourly rate	N/A		\$ 132.00	\$ 152.00
		Totals	\$ 1,667.40		\$ 1,214.40	\$ 228.00
		Tax	\$ 18.62		N/A	N/A
		Overhead	\$ 166.74		N/A	N/A
		Profit	\$ 83.37		N/A	N/A
		Freight	\$ 55.00		NA	NA
	TOTALS		\$ 1,991.13		\$ 1,214.40	\$ 228.00
	TOTAL INSTALLED COST		\$ 1,991.13			





Q&D Construction
1050 S. 21st St.
Sparks, Nevada 89431
Phone: +17757862677

Project: 16705 - RNO Auto Exit Lanes
2001 E. Plumb Lane
Reno , Nevada 89502

Electrical conduit in existing VAV

TO:	Jeffrey Purcell (Paul Cavin Architect LLC)	FROM:	Johnathan Carrillo (Q&D Construction)
DATE INITIATED:	01/18/ 2024	STATUS:	Closed on 01/31/24
LOCATION:		DUE DATE:	01/24/2024
COST CODE:		REFERENCE:	
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD
DRAWING NUMBER:		SPEC SECTION:	26 05 33 - Raceway and Boxes for Electrical Systems
LINKED DRAWINGS:			
RECEIVED FROM:	Greg Howard (KD Electric)		
COPIES TO:			
Johnathan Carrillo (Q&D Construction), Sharon Groux (Q&D Construction), Jon Lau (Reno-Tahoe International Airport), Joe Mamola (CME, Inc), Daniel O'Neil (Q&D Construction), Colt Waller (Q&D Construction), Stacy Yokoyama (CME, Inc)			

Question from Johnathan Carrillo (Q&D Construction) at 03:35 PM on 01/18/2024

As discussed in the OAC on 1/15/2023, there is electrical flex conduit that is currently running into the VAV. It is recommended to install a new junction box for the conduit to be rerouted to. Confirm rerouting is acceptable and specify location of the new junction box.

Attachments:

[RFI 6.jpg](#) [RFI 6.jpg](#)

Official Response: Jeffrey Purcell (Paul Cavin Architect LLC) responded on Wednesday, January 31st, 2024 at 1:19PM PST

Please see the attached response to RFI #6.

Attachments:

[RFI #6 Electrical Conduit in Existing VAV - PK Response.pdf](#)

All Replies:

Response from Jeffrey Purcell (Paul Cavin Architect LLC) at 01:19 PM on 01/31/2024

Please see the attached response to RFI #6.

Attachments:

[RFI #6 Electrical Conduit in Existing VAV - PK Response.pdf](#)

The attached RFI is issued to you for coordination and clarification purpose. Through the review of this RFI you find that it impacts your scope of work for both schedule and cost please notify Q&D Construction within five (5) business days from the distribution date of the RFI. If this RFI response is a change to your scope of work you are not authorized to proceed without a signed subcontract change order or written notification from Q&D Construction. We will consider this RFI answer no impact to cost and schedule if there is no response received after five (5) business days from the RFI distribution date.

BY _____

DATE _____

COPIES TO _____



Q&D CONSTRUCTION
est. 1964

Q&D Construction
1050 S. 21st St.
Sparks, Nevada 89431
Phone: +17757862677

RFI #6

Project: 16705 - RNO Auto Exit Lanes
2001 E. Plumb Lane
Reno , Nevada 89502

Electrical conduit in existing VAV

TO: Jeffrey Purcell (Paul Cavin Architect LLC)	FROM: Johnathan Carrillo (Q&D Construction)
DATE INITIATED: 01/18/ 2024	STATUS: Open
LOCATION:	DUE DATE: 01/24/2024
COST CODE:	REFERENCE:
COST IMPACT: TBD	SCHEDULE IMPACT: TBD
DRAWING NUMBER:	SPEC SECTION: 26 05 33 - Raceway and Boxes for Electrical Systems
LINKED DRAWINGS:	
RECEIVED FROM: Greg Howard (KD Electric)	
COPIES TO: Johnathan Carrillo (Q&D Construction), Sharon Groux (Q&D Construction), Jon Lau (Reno-Tahoe International Airport), Joe Mamola (CME, Inc), Daniel O'Neil (Q&D Construction), Colt Waller (Q&D Construction), Stacy Yokoyama (CME, Inc)	

Question from Johnathan Carrillo (Q&D Construction) at 03:35 PM on 01/18/2024

As discussed in the OAC on 1/15/2023, there is electrical flex conduit that is currently running into the VAV. It is recommended to install a new junction box for the conduit to be rerouted to. Confirm rerouting is acceptable and specify location of the new junction box.

Attachments:
[RFI 6.jpg](#) [RFI 6.jpg](#)

All Replies:

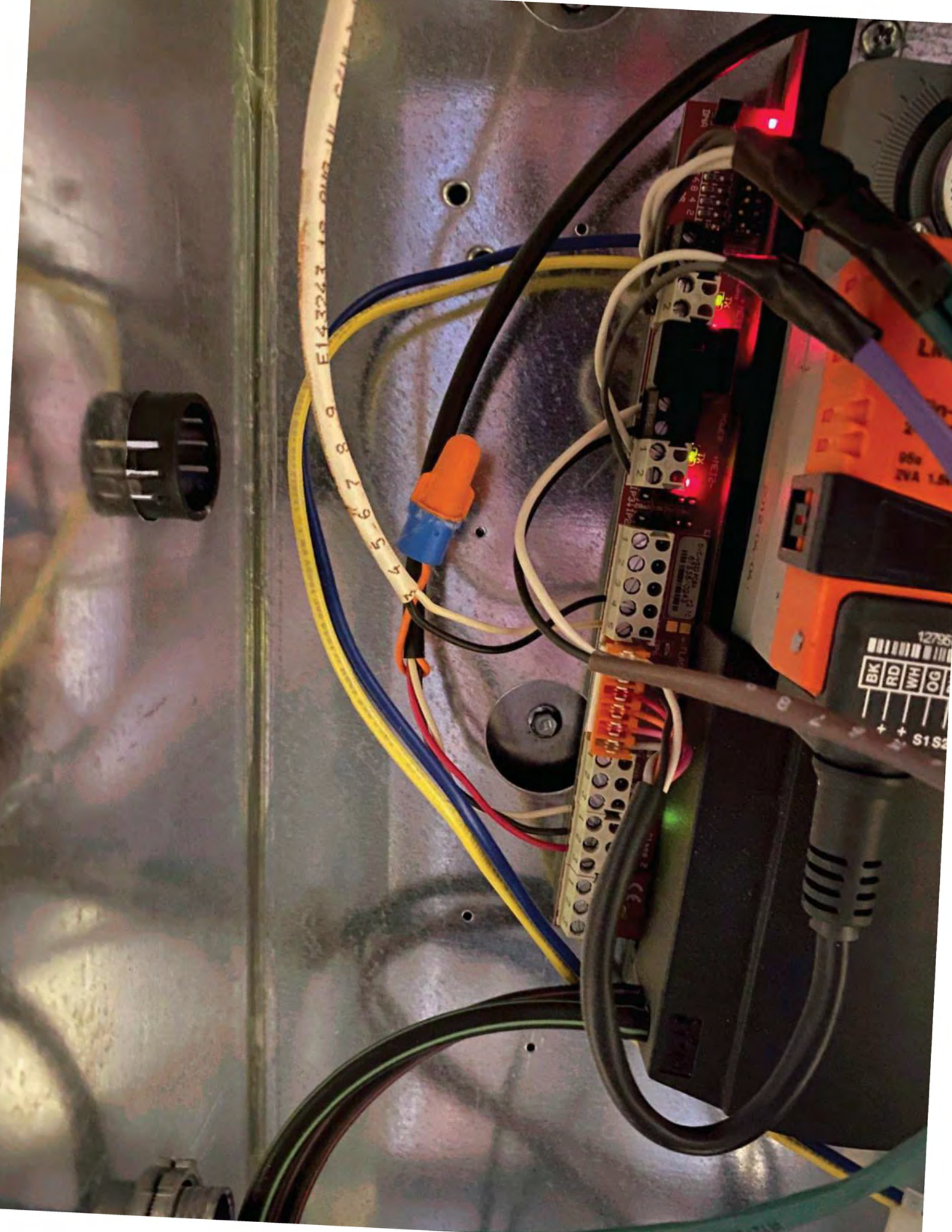
The attached RFI is issued to you for coordination and clarification purpose. Through the review of this RFI you find that it impacts your scope of work for both schedule and cost please notify Q&D Construction within five (5) business days from the distribution date of the RFI. If this RFI response is a change to your scope of work you are not authorized to proceed without a signed subcontract change order or written notification from Q&D Construction. We will consider this RFI answer no impact to cost and schedule if there is no response received after five (5) business days from the RFI distribution date.

-The rerouting of the of existing flex is acceptable and the new junction box shall be installed near the access panel within the hard lid ceiling for ease of access. If the VAV is installed above the drop ceiling, the new junction box shall be installed as to not obstruct the ceiling tile from being removed. Coordinate all routing and final rough-in with mechanical and/or RTAA facilities prior to commencing work.

S. Villanueva PK Electrical
BY

1/30/24
DATE

COPIES TO



E143243 IS OUR ID CODE

143243

BK	RD	WH	OG
+	+		
S1S2			

12796



RENO-TAHOE AIRPORT AUTHORITY CONTINGENCY CHANGE ORDER



CCO No.

Contractor:

Project:

Solicitation Number:

Summary of Change and List of Attachments:

This Contingency Change Order sets forth the terms and conditions to provide labor, equipment, material and full compensation to modify the Dormakaba System to the approved shop drawings to the response to RFI No. 07 and RFI No. 09.

The following will be added to the schedule of values:
 PCO No. 03 - Dormakaba Shop Drawing Coordination \$4,757.14

Enclosures:
 Q&D Construction Change Order Request No. 02 dated May 2, 2024
 RFI No. 07
 RFI No. 09

Contingency Change Order Summary:

Contract Contingency Total:	\$	<input type="text" value="50,000.00"/>	
Total Previously Approved:	\$	<input type="text" value="14,448.72"/>	
Total Change this Authorization:	\$	<input type="text" value="4,757.14"/>	ADD/DEDUCT
Remaining Contingency Balance:	\$	<input type="text" value="30,794.14"/>	

Change in Contract Times:

Original Duration:	<input type="text" value="90"/>
Previous Authorization:	<input type="text"/>
This Authorization:	<input type="text" value="0"/> ADD
Revised Contract Time:	<input type="text" value="90"/>

Contract Summary:

Original Contract:	\$	<input type="text" value="366,432.00"/>
Total Previously Approved CO's	\$	<input type="text" value="0.00"/>
Total Previously Approved CCO's	\$	<input type="text" value="14,448.72"/>
Contract Sum Prior to this CCO	\$	<input type="text" value="380,880.72"/>
Total Change this Authorization:	\$	<input type="text" value="4,757.14"/>
New Contract Sum:	\$	<input type="text" value="385,637.86"/>

Contractor Signature *Sharon Groux* Date: 5/14/2024

Project Mgr Signature *Jon Lau* Date: 5-15-24

Q&D Construction, Senior Project Engineer: Sharon Groux

RTAA Project Mgr: Jon Lau

Construction Mgr Signature *Joe Mamola* Date: 5/14/2024

Manager Signature *Gary Probert* Date: 5/15/24

CME, Construction Manager: Joe Mamola

RTAA Chief of Planning & Infrastructure: Gary Probert



CHANGE ORDER REQUEST

PCO No. 003

Project No.: 16705. - RNO Auto Exit Lanes

Date: 05/02/2024

To: Joe Mamola
 Reno-Tahoe Airport Authority
 2001 E. Plumb Lane
 Reno, NV 89502

From: Sharon Groux
 Q&D Construction LLC
 PO Box 10865
 Sparks, NV 89510

Phone: 775-745-6996
 Fax:
 Email:

Phone:
 Fax:
 Email: sgroux@qdconstruction.com

cc:

Below is the detail for our proposal to complete the following changes in contract work:

- Change Order Request: Dormakaba Coordination
- Proposed Scope of Work: Changes made to the contract documents to coordinate actual size of the Dormakaba system with our drawings. Per RFI 7, dimensions of the system are now larger. Power terminatoin at Dormakaba system per RFI 9.

PCO Item	Change (in Days)	Amount
1 : Capital Glass - Proposal dated 2/1/24 Credit given for 3 insulated glass units and 2 hours labor to install.	0	\$-480.00
2 : Stitser Drywall - RFI#7, Bid #8 Additional framing and drywall at North furred out wall. Delete furred out wall on South elevation. Patch at removed roll up door. COR dated 2/16/24	0	\$-812.14
3 : Contract Flooring - Per email from Mike Kennedy ROM - Contract is T&M. Figured 1 man, 8 hours at \$52.04/hr from CP report dated 1/25/24	0	\$-416.32
4 : Quality Tile - Proposal dated 2/16/24 Additional floor tile to cover area demolished that no longer has furred wall in front. No charge for labor. Quality tile change order dated 2/16/24.	0	\$217.14
5 : Q&D - Labor only. 1/31/24: relocate McCain wall due to larger dimensions for Dormakaba. 2/1-2/24: site supervision to extend soffit to prevent work over finished Dormakaba system. 2/20/24: extend McCain wall due to close proximity to Dormakaba system, preventing caulking of outside of glazing.	0	\$4,080.00
6 : KD Electric - Change Order #021324-001 Install conduit and conductors per RFI 9 to terminate into Dormakaba system. Plans originally showed terminations in the J-boxes in the ceilings per RFI 9. Costs based on T&M review and CP report.	0	\$1,506.46
7 : 1% G/L Insurance		\$41.00
8 : 15% Contractor Fee		\$621.00

Total \$ \$4,757.14

Submitted By:

Approved By:

Sharon Groux

05/02/2024
 Date

Reno-Tahoe Airport Authority

Date

Q&D Construction Potential Change Order

Date: 03/12/24

INTERNAL Change Order [1]

OWNER Change Order [2]

PCO #: 003

Project No.: 16705

Project Name: RNO Auto Exit Lanes

Description/Details:

Changes made to the contract documents to coordinate actual size of the Dormakaba system with our drawings. Per RFI 7, dimensions of the system are now larger. Power terminatoin at Dormakaba system per RFI 9.

Reason: Budget Adjust Consultant Directive Contingency Field Condition Owner Directive Other

Initiated By: Subcontractor Owner Internal Architect Customer Vendor

Chg Impact: Estimate Contract

Add General Liability Ins: Yes No

Add O/H & Profit: Yes No

Additional Days Requested: 0

Sub/Supplier	Scope of Work	Contract Item [3]	Phase Code [4]	Qty	Unit \$	COST TYPES [5]						Total
						CT 1 [M]	CT 2 [L]	CT 4 [OE]	CT 5 [RE]	CT 6 [S]	CT 7 [O]	
Capital Glass	Credit given for 3 insulated glass units and 2 hours labor to install.	02	08.810.000							-480.00		-480.00
Stitser	Additional framing and drywall at North furred out wall. Delete furred out wall on South elevation. Patch at removed roll up door. COR dated 2/16/24	02	09.250.000							-812.14		-812.14
Contract Flooring	ROM - Contract is T&M. Figured 1 man, 8 hours at \$52.04/hr from CP report dated 1/25/24	02	09.910.000							-416.32		-416.32
Quality Tile	Additional floor tile to cover area demoolished that no longer has furred wall in front. No charge for labor. Quality tile change order dated 2/16/24.	02	09.310.000							217.14		217.14
Q&D	Labor only. 1/31/24: relocate McCain wall due to larger dimensions for Dormakaba. 2/1-2/24: site supervision to extend soffit to prevent work over finished Dormakaba system. 2/20/24: extend McCain wall due to close proximity to Dormakaba system, preventing caulking of outside of glazing.	06	06.110.000.100							4,080.00		4,080.00
KD Electric	Install conduit and conductors per RFI 9 to terminate into Dormakaba system. Plans originally showed terminations in the J-boxes in the ceilings per RFI 9.	05	16.010.000							1,506.46		1,506.46
												0.00
Sub-Totals						0.00	0.00	0.00	0.00	4,095.14	0.00	4,095.14

1% G/L Ins 41.00
 Total 4,136.14
 15% markup 621.00
 Grand Total 4,757.14

[1] Internal Change Order: Not sent to the Owner for approval. Could impact Estimate and Contract.
 [2] Owner Change Order: Sent to the Owner for approval. Will impact Estimate & Contract.
 [3] Contract Item: Designates which item on your Owner Schedule of Values will be increased or decreased.
 [4] Phase Code: Designates which Phase Code in the budget will be increased or decreased.
 [5] Cost Types: Designates which Cost Type in the budget will be increased or decreased.

**Proposal
Capital Glass, Inc.**

2951 N. Deer Run Road, Ste 1 Carson City, Nevada 89701
NV Lic. #10139, CA Lic. #811436, AZ Lic. #265620
Webpage: www.capitalglassonline.com

Phone: (775) 883-6401
Fax: (775) 883-6584
Email: GBussey@capitalglassnv.com

Proposal Submitted To:	Q&D Construction, Inc.	Phone:	775-302-6408	Date:	02/01/24
Attention:	Sharon Groux	Fax/email:	sgroux@qdconstruction.com		
Street Address:	1050 S. 21st St.	Job Name:	RNO Exit Lanes		
City, State, Zip:	Sparks NV 89433	Job Location:	Reno Airport		

Credit:

- Includes credit for (3) insulated tempered glass units and (2) hours labor to install

Total Credited: (\$480.00)

Notes: No credit for purchased aluminum materials.

Estimated by: Gregg Bussey **Signature:** *Gregg Bussey* **Date:** 02/01/24

ACCEPTANCE OF PROPOSAL - The above prices and attached terms and conditions are satisfactory and are hereby accepted. Capital Glass, Inc. is authorized to do the work as specified. Payment will be made as outlined.

Authorized Signature: _____ **Date:** _____
Printed Name: _____ **Bill To:** Q&D Construction, Inc.

Standard Terms & Conditions

Subject to the following terms and conditions, Capital Glass, Inc. ("Sub-Contractor") shall complete the Work for the fee stated in the attached Proposal. It is understood that these terms and conditions have been accepted by both Purchaser and Sub-Contractor. To the extent there is a conflict between these terms and conditions and any other document, these terms and conditions shall govern and control. The attached Proposal and these terms and conditions shall collectively be referred to herein as the "Agreement."

1. **Scope of Work.** Sub-Contractor shall furnish all labor, materials, equipment, services, tools, and supplies necessary to complete the Work described in the attached Proposal, the drawings and specifications approved by the Purchaser, and any written orders for changes in the Work issued after execution of this Agreement, if executed by Sub-Contractor and Purchaser (collectively the "Contract Documents").
2. **Information Provided by Purchaser.** Purchaser shall provide Sub-Contractor with all necessary information, requirements, reports, data, surveys and instructions required by this Agreement and Sub-Contractor is entitled to rely upon the accuracy and completeness thereof.
3. **Warranty.** Sub-Contractor warrants to Purchaser for a period of one year from the time of completion of the Work that the materials and equipment furnished under this Agreement will be new and of good quality unless otherwise required or permitted by the Contract Documents, and the Work will be free from defects not inherent in the quality required or permitted by the Contract Documents. This warranty excludes remedy for damage or defect caused by abuse, alterations to the Work not executed by Sub-Contractor, improper or insufficient maintenance, improper operation, or normal wear and tear under normal usage.
4. **Time.** Sub-Contractor confirms that time limits set forth in the Agreement provide a reasonable period for performing the Work. However, Purchaser acknowledges that Sub-Contractor's Work is susceptible to delays due to changes and/or additional items added during the progression of the Project. Sub-Contractor is not responsible for damages arising directly or indirectly from any delays for causes beyond Sub-Contractor's control. For purposes of this Agreement, such causes include, but are not limited to, strikes or other labor disputes; severe weather disruptions or other natural disasters, shortage or unavailability of building/construction materials, pandemics, or acts of God; fires, riots, war or other emergencies; failure of any government agency to act in timely manner; failure of performance or untimely performance by Purchaser or Purchaser's contractors or consultants; or discovery of any hazardous substances or differing site conditions.
5. **Governing Law and Jurisdiction.** Sub-Contractor and Purchaser agree that this Agreement and any legal actions concerning its validity, interpretation and performance shall be governed by the laws of the State of Nevada. It is further agreed that any legal action between Sub-Contractor and Purchaser arising out of this Agreement or the performance of the Work shall be brought in Carson City, Nevada.
6. **Billings/Payment.** Unless otherwise set forth in the Proposal, Sub-Contractor shall submit its invoices to Purchaser on a minimum of a monthly basis and Purchaser shall pay all undisputed amounts within thirty (30) days of receipt of an invoice to avoid delay of Sub-Contractor's Work.
7. **Termination/Suspension of Services.** If Purchaser fails to make payment as provided in this Agreement, Sub-Contractor may, upon seven days' written notice to Purchaser, stop the Work under this Agreement until payment of the amount owing has been received, or terminate this Agreement and recover from Purchaser payment for Work executed. Purchaser may, upon seven day's written notice to Sub-Contractor, terminate this Agreement if Sub-Contractor: (a) repeatedly refuses or fails to supply enough properly skilled workers or proper materials, (b) fails to make payment to subcontractors for materials or labor in accordance with the respective agreements between Sub-Contractor and the subcontractors, (c) persistently disregards laws, ordinances, or rules, regulations or orders of a public authority having jurisdiction, or (d) is otherwise guilty of substantial breach of a provision of the Contract Documents.
8. **Force Majeure.** Sub-Contractor will not incur any liability if its performance of any obligation under this Agreement is prevented or delayed by causes beyond its control and without the fault or negligence of either party. Causes beyond a party's control may include, but aren't limited to, acts of God or war, changes in controlling law, regulations, orders or the requirements of any governmental entity, severe weather conditions, civil disorders, natural disasters, fire, epidemics and quarantines, general strikes throughout the trade, and freight embargoes. Sub-Contractor shall notify Purchaser orally within five (5) days and in writing within ten (10) days of the date on which the Sub-Contractor becomes aware, or should have reasonably become aware, that such cause would prevent or delay its performance. Such notification shall (i) describe fully such cause(s) and its effect on performance, (ii) state whether performance under the contract is prevented or delayed and (iii) if performance is delayed, state a reasonable estimate of the duration of the delay. After receipt of such notification, Sub-Contractor may elect either to cancel the Contract or to extend the time for performance as reasonably necessary to compensate for the Sub-Contractor's delay.
9. **Waiver of Consequential Damages.** Purchaser and Sub-Contractor waive consequential damages for claims, disputes or other matters in question arising out of or related to this Agreement. This mutual waiver is applicable, without limitation, to all consequential damages due to either party's termination in accordance with this Agreement.
10. **Sole Remedy.** It is intended by the parties to this Agreement that the Purchaser's obligations and Sub-Contractor's Work in connection with this Agreement shall not subject the Purchaser's or Sub-Contractor's individual shareholders, employees, officers or directors to any personal legal exposure for the risks associated with this Agreement. Therefore, and notwithstanding anything to the contrary contained herein, except in the event of fraud, the Purchaser and Sub-Contractor agree that as the sole and exclusive remedy against the other, any claim, demand or suit shall be directed and/or asserted only against the business entities that are the parties to this Agreement and not against any of the Purchaser's or Sub-Contractor's individual shareholders, employees, officers or directors. such that the Purchaser agrees, to the fullest extent permitted by law, to limit the liability of Sub-Contractor to the Purchaser for any and all claims, losses, costs, damages of any nature whatsoever or claims expenses from any cause or causes, including attorneys' fees and costs and expert-witness fees and costs, so that the total aggregate liability of Sub-Contractor to the Purchaser shall not exceed the sum of all payments received by Sub-Contractor under this Agreement. It is intended that this limitation apply to any and all liability or cause of action however alleged or arising, except for acts of willful misconduct or unless otherwise prohibited by law.
12. **Attorneys' Fees.** Subject to the Limitation of Liability set forth above, in the event of any dispute between the parties concerning the terms and provisions of this Agreement, the party prevailing in such dispute shall be entitled to collect from the other party all costs incurred in such dispute, including reasonable attorneys' fees.
13. **Independent Contractor.** Sub-Contractor is an independent contractor and shall not in any manner or under any circumstances be construed as Purchaser's agent or employee. Sub-Contractor shall comply with federal, state and local tax laws, social security acts, unemployment compensation acts and workers' compensation acts insofar as applicable to the performance of this Agreement.
14. **Conditions:** Acceptance of this offer by the purchaser shall constitute an order and contract for the purchase of the items described herein. All work to be completed in a workmanlike manner according to standard practices. This proposal is based on information provided by the purchaser. Unless specifically stated, the above proposal is based on an asbestos and lead based paint free worksite. Any alteration from supplied information, to the above specifications, or to our standard exemptions will become an extra charge. Capital Glass shall not be responsible for protection of installed materials, cleaning of glass or metal, or for damage to our materials after installation. Capital Glass shall not be responsible for engineering, sizing, supplying or installing any structural materials. This proposal is based upon adequate anchoring & structural support being provided at perimeter by others. Unless specifically noted by Capital Glass, bonding, shop drawings, special testing, field-testing, electrical work, LEED documentation, non-weatherization caulking, and/or mock-ups are exempted. Capital Glass, Inc. reserves the right to increase the amount of this proposal no less than three percent (3%) in the event a glazing consultant is assigned to the project.

Stitser Drywall
3445 Airway Drive, Suite B, Reno, NV 89511
Phone: (775) 358-0363 Fax: (775) 358-1106

Bid Summary

Reno Auto Exit Lanes

RFI #7

Bid No. 8

Selected Sections: 09250 Drywall - Metal Stud Framing, 09251 Drywall - GWB Installation, 09252 Drywall - GWB Finishing

Selected Typical Areas:

Selected Areas: (unassigned)

Estimator: **ST - Steve Talafuse**

Job Class:

Wage Type: **Union**

Job Site: **Reno Auto Exit Lanes, Reno, Nevada**

Job Status: **Pending**

Bid Date/Time: **1/23/2024 12:00:00 PM**

Plans Date: **1/23/2024**

(unassigned)

No.	Condition	Height	Quantity	Total Price
1	Additional framing and drywall extension	10' 0"	4.00 LF	867.99
2	Delete furred wall per RFI	10' 0"	-10.00 LF	-2,169.98
3	Patch at removed roll up door, and soffit patch	10' 0"	1.00 EA	489.85
Material & Labor Total:				-812.14
(unassigned) Total:				-812.14



205 Cal Lane
Sparks, NV 89431

Ph: (775) 331-1077
Fax: (775) 331-0425

NV License #: 0024150
CA License #: 498553

Date: April 25, 2024

To: Q&D Construction
1050 S. 21st
Sparks NV 89431
PH: (775) 353-7007

Project: RNO Automatic Exit Gates
RTIA
Reno NV

Drawings: Dated 1/30/24

Attn: Sharon Groux

Subject: Revised Change Order **(RFI #7)**

We hereby propose to furnish and install ceramic tile on the above referenced project per the following details:

Area #1: Additional floor tile (per sheet A721 dated 1/30/24)

Material: Tile- Marshmallow (18x18)

**Notes: -Purchased 1 additional box of tile
-No charge for labor**

Quote amount: \$217.14

Cost breakdown

Tile cost	\$197.40
10% mark-up:	\$19.74
Total:	\$217.14

Approved by (Print & Sign): _____ Date: _____

Sparks Tile And Stone

935 S. Rock Blvd
Sparks, NV 89431

	Estimate #
2/5/2024	30367

Name / Address
Quality Tile & Marble, Inc. 205 Cal Ln. Sparks 331-1077 RNO Exit Lanes

Description	Qty	Rate	Total
Color Blox 18 x 18 Roasted Marshmallow (13.5 sq ft per box)	13.5	5.98	80.73T
Freight in - Takes at least two weeks to transfer into our warehouse		110.00	110.00

PAYMENT WITH CREDIT CARD SUBJECT TO 3.5% PROCESSING FEE
Prices are subject to change. Estimates are valid for 30 Days

ALL SALES FINAL POLICY: No returns or cancellations will be processed due to incorrect quantities, natural stone, variation, dye lot variation, or customer remorse. This invoice serves as a purchasing contract as all ETA's and order details have been disclosed. The signing parties acknowledge the above and agree.

RETURN CHECK POLICY: All fees accrued due to returned check will be the full responsibility of the customer. This includes but is not limited to a return check fee of \$30.00, material restocking fees, return freight shipping fees, etc

PICK-UP POLICY: Warehouse hours: M-F 8 am 11:30-12:00 pm - 4:30 pm (No Sat/Sun)
Material with unpaid balances will not be released. All items removed from Sparks Tile and Stone have been inspected and approved.

Subtotal	\$190.73
Sales Tax (8.265%)	\$6.67
Total	\$197.40

Phone #	Fax #
775-358-7734	775-358-7735

JC Cost Totals Drilldown

Jobs: Open

Through Month: 03/24

Original
Estimate

Current
Estimate

Actual
Cost

Variance

16705. RNO Auto Exit Lanes	318,536.00	328,691.75	214,135.38	114,556.37
-----------------------------------	------------	------------	------------	------------

Phase	Orig Estimate	Curr Estimate	Actual Cost	Variance
06.110.000.100 Dormakaba Coordination	0.00	0.00	5,800.00	-5,800.00

Job	Phase	Cost Type	Original Estimate	Current Estimate	Actual Cost	Variance
16705.	06.110.000.100	2 Labor	0.00	0.00	4,080.00 5,800.00	-5,800.00

***** Actual *****

Mth	Trans	PostedDate	ActualDate	Source	Description	Hours	Units	Cost
01/24	31906	02/08/24	01/30/24	PR Entry	3027/Waller, Colt	4.00	0.00	300.00
01/24	31907	02/08/24	01/31/24	PR Entry	3027/Waller, Colt	8.00	0.00	600.00
01/24	31908	02/08/24	01/31/24	PR Entry	3122/O'Neil, Daniel	8.00	0.00	760.00
02/24	1242	02/08/24	02/01/24	PR Entry	3189/Flinchum, Mason	3.00	0.00	195.00
02/24	1243	02/08/24	02/02/24	PR Entry	3189/Flinchum, Mason	1.00	0.00	65.00
02/24	2288	02/08/24	02/01/24	PR Entry	3122/O'Neil, Daniel	8.00	0.00	760.00
02/24	2289	02/08/24	02/02/24	PR Entry	189/Gilkeson, Steve	8.00	0.00	960.00
02/24	28483	03/07/24	02/26/24	PR Entry	3027/Waller, Colt	8.00	0.00	600.00
02/24	28484	03/07/24	02/26/24	PR Entry	3122/O'Neil, Daniel	8.00	0.00	760.00
02/24	28485	03/07/24	02/27/24	PR Entry	3027/Waller, Colt	4.00	0.00	300.00
03/24	1073	03/07/24	03/01/24	PR Entry	189/Gilkeson, Steve	4.00	0.00	500.00

Change Order # 021324-001

Fixed Sum

Revisions to the Contract for Construction between **GENERAL CONTRACTOR** and **SUB-CONTRACTOR** are agreed as follows.

PROJECT: RTAA Auto Exit Gates Project

KD Electric	681 Watson Way, Sparks NV 89431	2/13/2023
Name	Address	Date of Commencement

CHANGES: Description of the added/deleted/revised Work

WORK: Install conduit and conductors per RFI #9 "Power Termination for Dormakaba System" for each of (3) Dormakaba gates. Install conduit, conductors, and electrical raceway materials as needed with the scope of work outlined in RFI#9. Terminate conductors for each circuit per Dormakaba supplied instructions, manufactures listed termination points for each gate per NEC 2020. Architect request for EMT conduit to be installed through hard lid without surface mounted junction box. Install conduit for low voltage communication data cables through hard lid per Architect's instructions, no visible surface mounted junction boxes on the hard lid. Total \$6,088.46, includes materials \$311.28, Day Shift labor \$5777.19, OH&P (\$2719.45).

REASON FOR CHANGES: Scope of work change.

LIST OF SUPPLEMENTAL INFORMATION/DRAWINGS (ATTACH)

Materials = \$311.28
Labor (from CP Report 2/14/24) = \$1,058.23
Total = \$1,369.51

10% = 136.95

Grand Total = \$1,506.46

CONTRACT SUM:

Contract Sum PRIOR to this Change (including previously approved Change Orders):	\$23,722.00
Contract Sum AFTER to this Change:	\$29,810.46
TOTAL CHANGE:	\$6,088.46

CONTRACT DURATION:

Substantial Completion PRIOR to this Change (including previously approved Change Orders):	_____
Substantial Completion AFTER this Change:	_____
TOTAL CHANGE:	_____ days + or - _____ 0

APPROVALS:

CHANGE SUBMITTED BY: _____

APPROVED BY:

SUB-CONTRACTOR: _____

DATE: _____

GENERAL CONTRACTOR: _____

DATE: _____



WEEKLY CERTIFIED PAYROLL REPORTING FORM

NAME OF CONTRACTOR :KD Electric Sub To: Q&D CONSTRUCTION LLC		CONTRACTOR'S LICENSE No. 0081321 SPECIALTY LICENSE No.		ADDRESS : PO Box 34373 , Reno, NV 89533 PHONE: 775-357-9767 EMAIL: katrina@kdelectricaadc.com		PROJECT LOCATION/ CODE / NAME : Washoe County / WA-2023-287 / AUTOMATED EXIT LANES (WA-2023-287)			
PAYROLL No. 7		FOR WEEK ENDING: 02/17/2024 SUBMITTED ON: March 01, 2024		MOTOR CARRIER PERMIT No.		UNION N/A		SELF-INSURED CERTIFICATE No. WORKERS' COMP. POLICY :	

NAME, ADDRESS, SSN, DRIVER'S LICENSE, ETHNICITY, GENDER	EXEMPT	WORK CLASSIFICATION, LOCATION AND TYPE	HOURS WORKED EACH DAY							TOTAL HOURS	BASE HOURLY RATE	GROSS AMOUNT EARNED		DEDUCTION . CONTRIBUTION AND PAYMENTS											
			2/11/24	2/12/24	2/13/24	2/14/24	2/15/24	2/16/24	2/17/24			THIS PROJECT	ALL PROJECTS	Federal Tax	Social Security	Medicare	State Tax	Local Taxes / SDI	Other	Savings	Total Deduction	Check No.			
HOWARD, GREGORY Emp_Id: 001 CAUCASIAN Male	0	LABORER GROUP 1 / GROUP 1 / Type: ALL Washoe County WD: 2022-2023		S	M	T	W	TH	F	S	8.00	45.53	398.39	398.39	0.00	24.70	5.77	0.00	0.00	0.00	0.00	0.00	0.00	30.47	3942
All or Part of Fringes Paid to Employee: NO			Vacation, Holiday and Dues in Gross Pay: NO Voluntary Contributions in Gross Pay: NO							Rate in Lieu of Fringes:	Total in Lieu of Fringes:	Total Base Rate + Fringes	Voluntary Pension	Voluntary Medical	H & W Rate	Pension Rate	Vac Hol Rate	Training Rate	All Other Rate	Total Fringe Rate to 3rd	Payroll Payment Date				
										0.00	0.00	45.53	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2/23/24		

NAME, ADDRESS, SSN, DRIVER'S LICENSE, ETHNICITY, GENDER	EXEMPT	WORK CLASSIFICATION, LOCATION AND TYPE	HOURS WORKED EACH DAY							TOTAL HOURS	BASE HOURLY RATE	GROSS AMOUNT EARNED		DEDUCTION . CONTRIBUTION AND PAYMENTS											
			2/11/24	2/12/24	2/13/24	2/14/24	2/15/24	2/16/24	2/17/24			THIS PROJECT	ALL PROJECTS	Federal Tax	Social Security	Medicare	State Tax	Local Taxes / SDI	Other	Savings	Total Deduction	Check No.			
PEREZ, JULIO Emp_Id: 002 HISPANIC Male	0	ELECTRICIAN-WIREMAN / WIREMAN-FOREMAN / Type: ALL Washoe County WD: 2022-2023		S	M	T	W	TH	F	S	8.00	75.41	659.84	659.84	0.00	40.91	9.57	0.00	0.00	0.00	0.00	0.00	0.00	50.48	3943
All or Part of Fringes Paid to Employee: NO			Vacation, Holiday and Dues in Gross Pay: NO Voluntary Contributions in Gross Pay: NO							Rate in Lieu of Fringes:	Total in Lieu of Fringes:	Total Base Rate + Fringes	Voluntary Pension	Voluntary Medical	H & W Rate	Pension Rate	Vac Hol Rate	Training Rate	All Other Rate	Total Fringe Rate to 3rd	Payroll Payment Date				
										0.00	0.00	75.41	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2/23/24	

TOTAL STANDARD HOURS :	16.00	TOTAL 1.5 OT HOURS:	1.00	TOTAL 2.0 OT HOURS:	0.00	GRAND TOTAL HOURS:	17.00
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Statement of Compliance

Date Friday, March 1, 2024

I, Katrina Hobbs, Director do hereby state:

(1) That I pay or supervise the payment of the persons employed by KD ELECTRIC on the AUTOMATED EXIT LANES (WA-2023-287); that during the payroll period commencing on 2/11/2024 and ending on 2/17/2024 all persons employed on said project have been paid the full weekly wages earned, that no rebates have been or will be made either directly or indirectly to or on behalf of said KD ELECTRIC from the full weekly wages earned by any person and that no deductions have been made either directly or indirectly from the full wages earned by any person, other than permissible deductions as defined in Regulations, Part 3 (29 C.F.R. Subtitle A), issued by the Secretary of Labor under the Copeland Act, as amended (48 Stat. 948, 63 Stat. 108, 72 Stat. 967; 76 Stat. 357; 40 U.S.C. § 3145), and described below:

All comments are in the notes on the submitted Certified Payroll Report.

(2) That any payrolls otherwise under this contract required to be submitted for the above period are correct and complete; that the wage rates for laborers or mechanics contained therein are not less than the applicable wage rates contained in any wage determination incorporated into the contract; that the classifications set forth therein for each laborer or mechanic conform with the work he performed.

(3) That any apprentices employed in the above period are duly registered in a bona fide apprenticeship program registered with a State apprenticeship agency recognized by the Bureau of Apprenticeship and Training, United States Department of Labor, or if no such recognized agency exists in a State, are registered with the Bureau of Apprenticeship and Training, United States Department of Labor.

(4)That:

(a) WHERE FRINGE BENEFITS ARE PAID TO APPROVED PLANS, FUNDS OR PROGRAMS

- in addition to the basic hourly wage rates paid to each laborer or mechanic listed in the above referenced payroll, payments of fringe benefits as listed in the contract have been or will be made to appropriate programs for the benefit of such employees, except as noted in section 4(c) below.

(b) WHERE FRINGE BENEFITS ARE PAID IN CASH

- Each laborer or mechanic listed in the above referenced payroll has been paid, as indicated on the payroll, an amount not less than the sum of the applicable basic hourly wage rate plus the amount of the required fringe benefits as listed in the contract, except as noted in Section 4(c) below.

(c) EXCEPTIONS:

EXCEPTION (CRAFT)	EXPLANATION
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REMARKS: 0081321

NAME: Katrina Hobbs

TITLE: Director

Electronic Signature Code: WA-2023-287-2/17/2024-0-133537855394040789

THE WILLFUL FALSIFICATION OF ANY OF THE ABOVE STATEMENTS MAY SUBJECT THE CONTRACTOR OR SUBCONTRACTOR TO CIVIL OR CRIMINAL PROSECUTION. SEE SECTION 1001 OF TITLE 18 AND SECTION 3729 OF TITLE 31 OF THE UNITED STATES CODE.

Other Deductions Notes

<u>Employee Name</u>	<u>Craft</u>	<u>Classification</u>	<u>Other Deduction Notes</u>
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Q&D Construction
1050 S. 21st St.
Sparks, Nevada 89431
Phone: +17757862677

Project: 16705 - RNO Auto Exit Lanes
2001 E. Plumb Lane
Reno , Nevada 89502

Coordination of Dormakaba Shop Drawings with Contract Documents

TO:	Jeffrey Purcell (Paul Cavin Architect LLC)	FROM:	Johnathan Carrillo (Q&D Construction)
DATE INITIATED:	01/23/ 2024	STATUS:	Closed on 01/30/24
LOCATION:		DUE DATE:	01/30/2024
COST CODE:		REFERENCE:	
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD
DRAWING NUMBER:	All	SPEC SECTION:	11 14 53 - Automated Exit Lane Breach Control Technology
LINKED DRAWINGS:			
RECEIVED FROM:	Colt Waller (Q&D Construction)		
COPIES TO:			
Johnathan Carrillo (Q&D Construction), Sharon Groux (Q&D Construction), Jon Lau (Reno-Tahoe International Airport), Joe Mamola (CME, Inc), Daniel O'Neil (Q&D Construction), Lincoln Riley (CME, Inc), Colt Waller (Q&D Construction), Stacy Yokoyama (CME, Inc)			

Question from Johnathan Carrillo (Q&D Construction) at 04:05 PM on 01/23/2024

Per conversation in the OAC on 1/22/2024, during field coordination, it appears as though there is a discrepancy between contract documents and shop drawings from Dormakaba. The dimensions on the attached shop drawings conflict with the drawings issued for this project. Confirm dimensions of the Exit Lane systems and provide any and all updated contract documents that need to be changed to accommodate the exit lanes.

Attachments:

[RNO Auto Exit Lanes Dormakaba Shop Drawings.pdf](#)

Official Response: Jeffrey Purcell (Paul Cavin Architect LLC) responded on Tuesday, January 30th, 2024 at 11:18AM PST

Please see the attached response to RFI #7.

Attachments:

[RFI #7 Coordination of Dormakaba Shop Drawings with Contract Documents-PCA LLC Response.pdf](#)

All Replies:

Response from Jeffrey Purcell (Paul Cavin Architect LLC) at 11:18 AM on 01/30/2024

Please see the attached response to RFI #7.

Attachments:

[RFI #7 Coordination of Dormakaba Shop Drawings with Contract Documents-PCA LLC Response.pdf](#)

The attached RFI is issued to you for coordination and clarification purpose. Through the review of this RFI you find that it impacts your scope of work for both schedule and cost please notify Q&D Construction within five (5) business days from the distribution date of the RFI. If this RFI response is a change to your scope of work you are not authorized to proceed without a signed subcontract change order or written notification from Q&D Construction. We will consider this RFI answer no impact to cost and schedule if there is no response received after five (5) business days from the RFI distribution date.

BY _____

DATE _____

COPIES TO _____



Q&D CONSTRUCTION
est. 1964

Q&D Construction
1050 S. 21st St.
Sparks, Nevada 89431
Phone: +17757862677

RFI #7

Project: 16705 - RNO Auto Exit Lanes
2001 E. Plumb Lane
Reno , Nevada 89502

Coordination of Dormakaba Shop Drawings with Contract Documents

TO:	Jeffrey Purcell (Paul Cavin Architect LLC)	FROM:	Johnathan Carrillo (Q&D Construction)
DATE INITIATED:	01/23/ 2024	STATUS:	Open
LOCATION:		DUE DATE:	01/30/2024
COST CODE:		REFERENCE:	
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD
DRAWING NUMBER:	All	SPEC SECTION:	11 14 53 - Automated Exit Lane Breach Control Technology
LINKED DRAWINGS:			
RECEIVED FROM:	Colt Waller (Q&D Construction)		
COPIES TO:			
Johnathan Carrillo (Q&D Construction), Sharon Groux (Q&D Construction), Jon Lau (Reno-Tahoe International Airport), Joe Mamola (CME, Inc), Daniel O'Neil (Q&D Construction), Lincoln Riley (CME, Inc), Colt Waller (Q&D Construction), Stacy Yokoyama (CME, Inc)			

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Attachments:
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All Replies:

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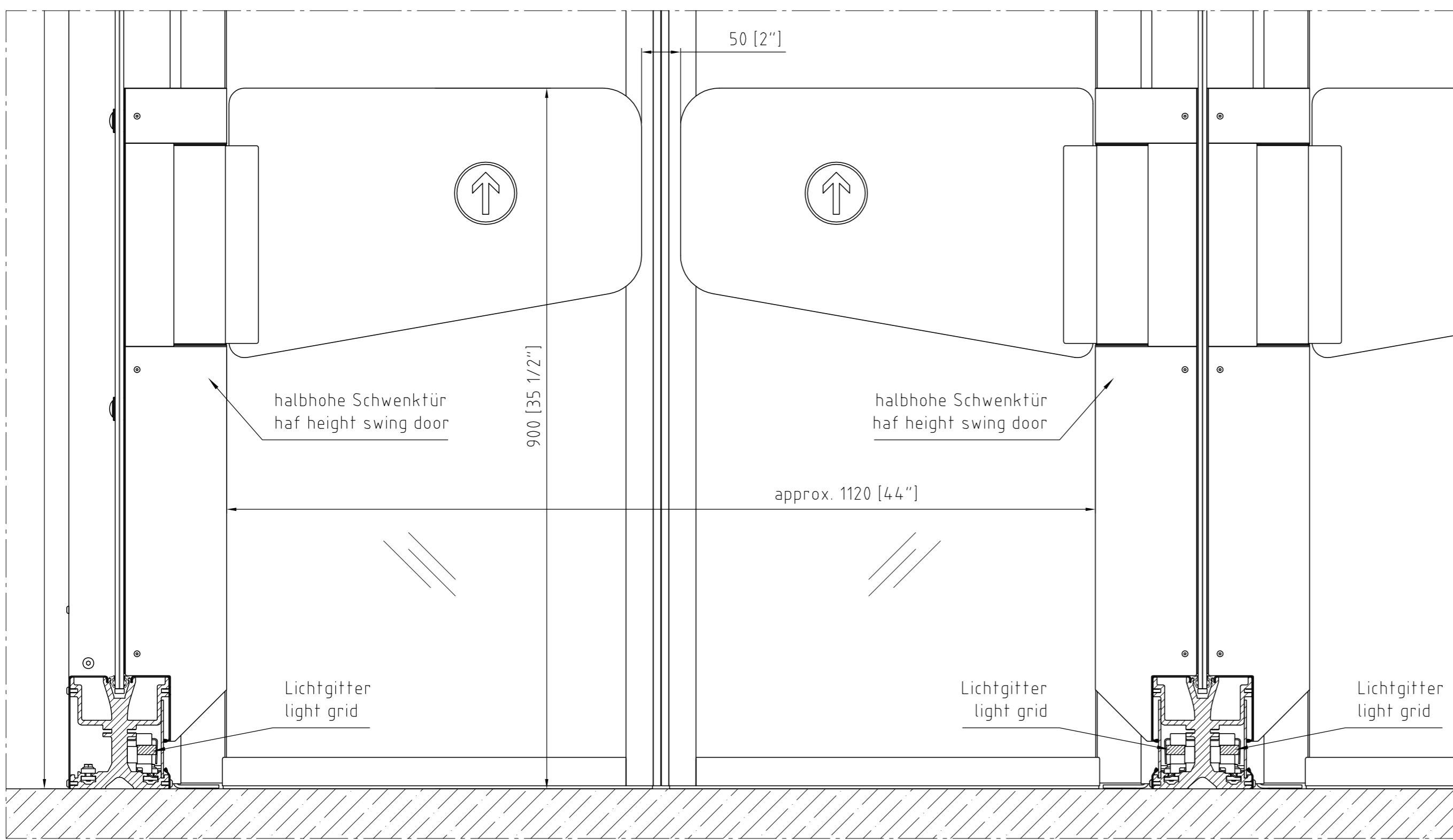
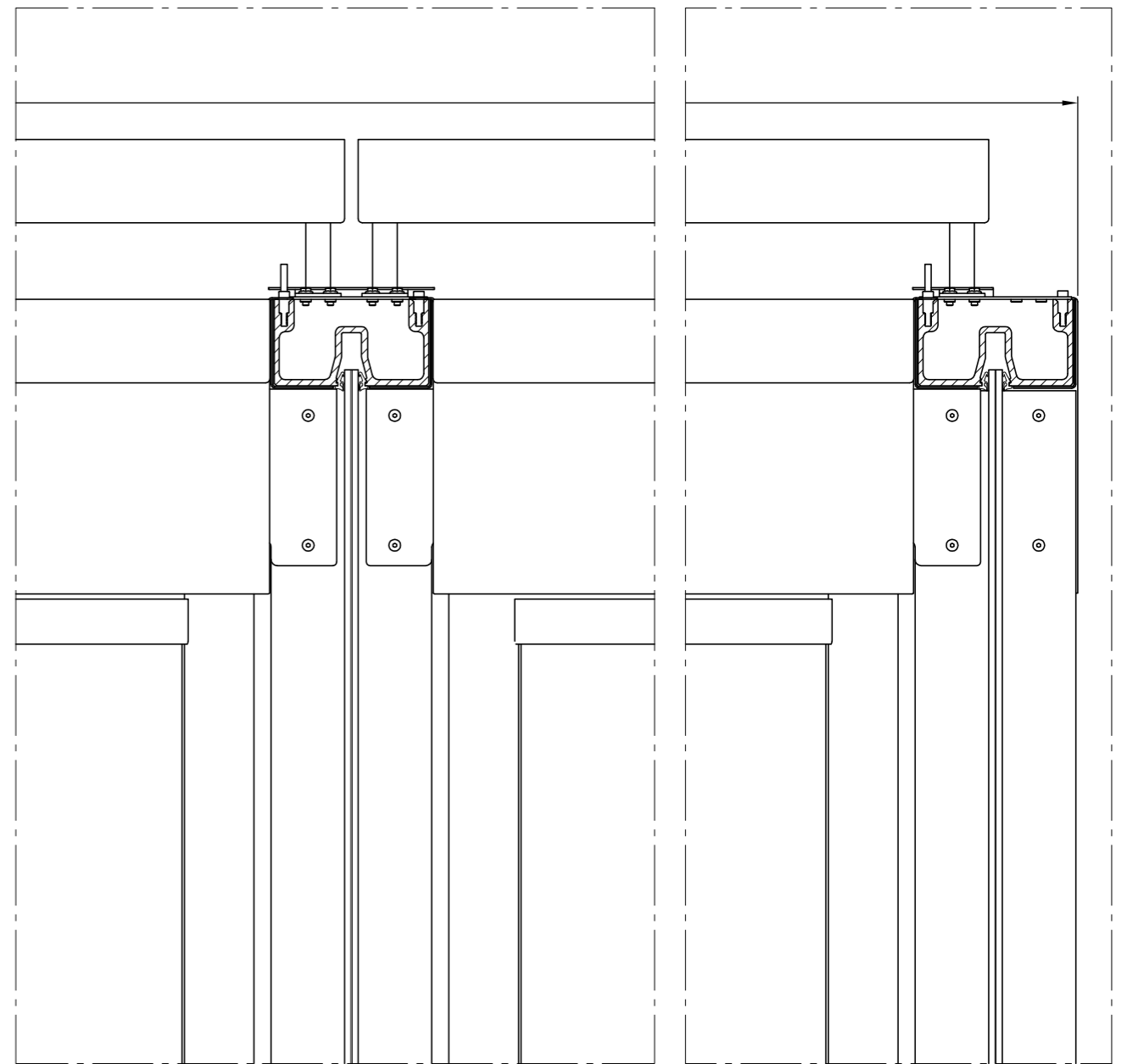
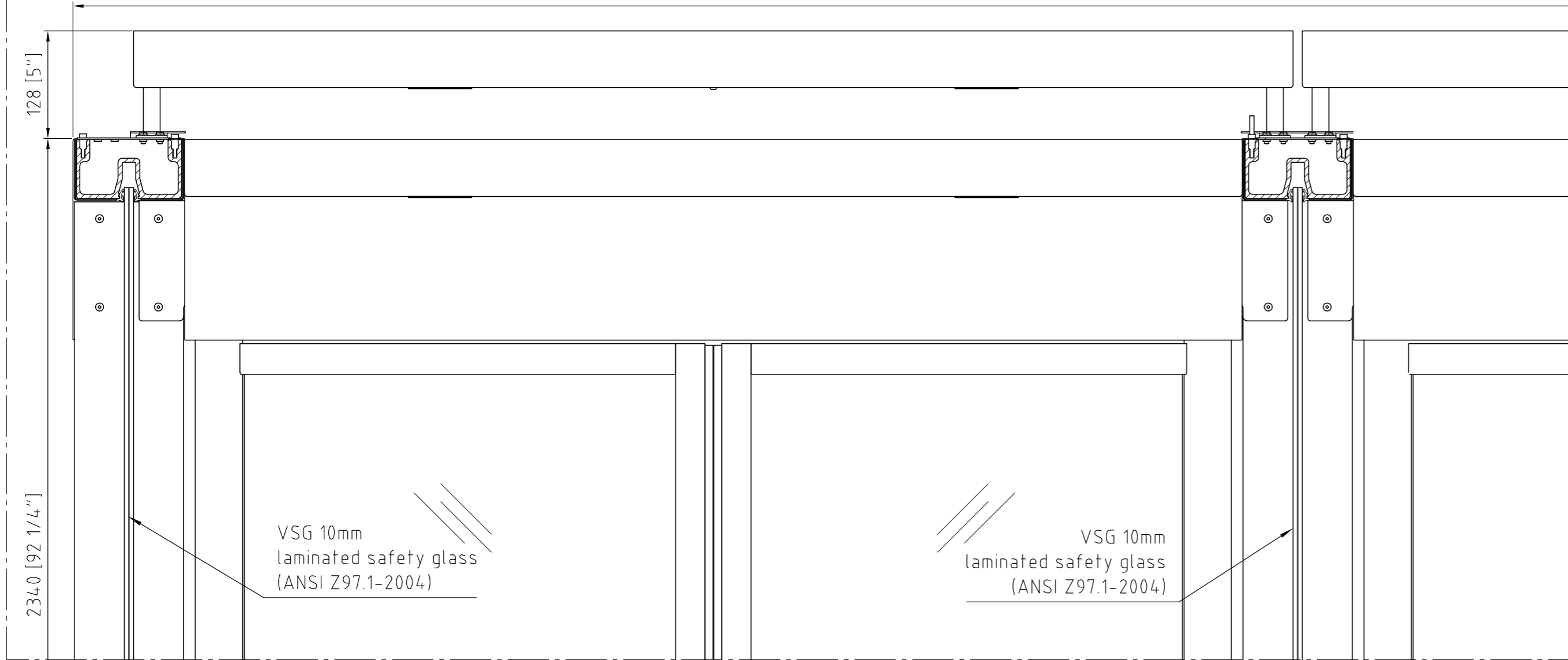
I have revised my drawings to match the provided shop drawings. It appears that the only impact is that the lanes are wider and longer than originally designed for and is my recommendation to leave the airside of the lanes as previously located and let the length grow toward the landside. See the attached revised architectural drawings to reflect the revised lane dimensions and note that there are no impacts on the original mechanical and electrical designs.

Jeffrey Purcell
Paul Cavin Architect LLC
01.30.24

BY _____ DATE _____ COPIES TO _____

Schnitt 1-1 / Section 1-1

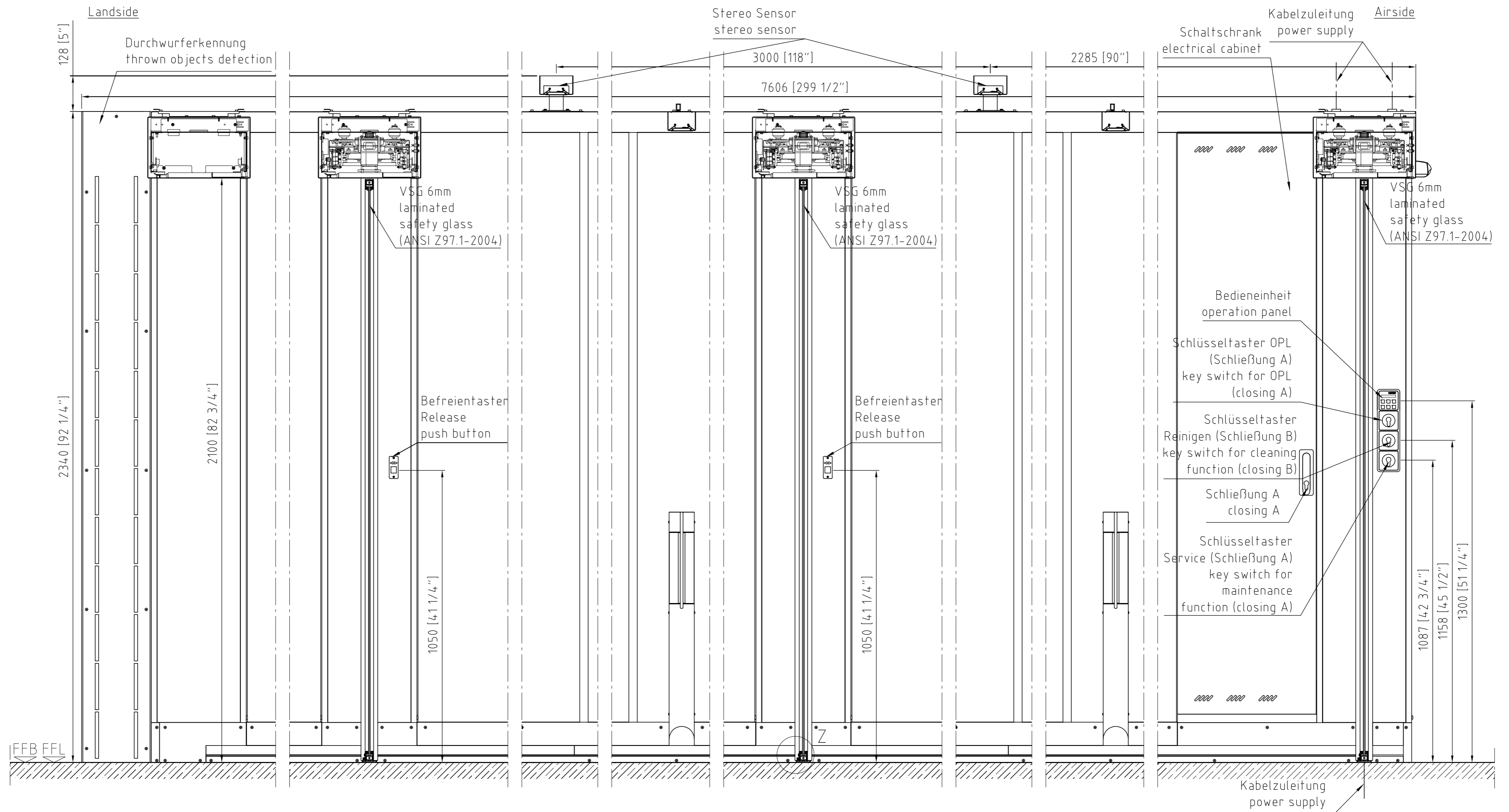
4303 [169 1/2"]



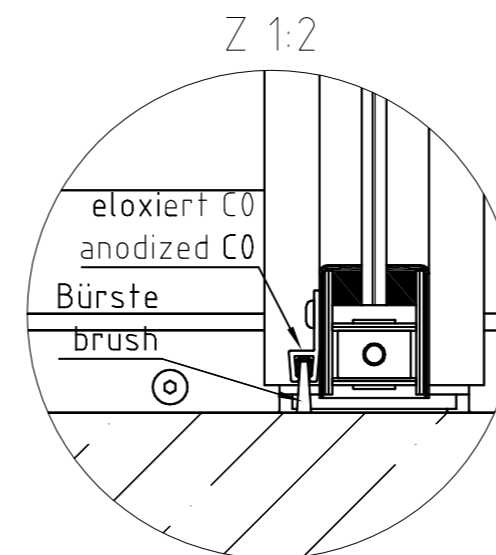
floorfinish in accordance to DIN 18202 ±2 mm required

- Dokument erstellt		22.03.2018	JJH	22.03.2018	BM
Index	Änderung	Datum gez	Name gez	Datum gepr	Name gepr
dormakaba Kaba Gallenschütz GmbH Nikolaus-Otto-Str. 1 Tel.: 07223/286-0 D - 77815 Bühl Fax: 07223/286-111		Kunde		Auftrags-Nr.	
Maßstab		Titel		Dokument-Nr.	
1:5		PIL-M02_16 triple unit var. 3c PW1120		2040377663-	
Schutzvermerk nach DIN ISO 16016 beachten! Zulässige Abweichung für Maße ohne Toleranzangabe: DIN ISO 2768-mK		Ersatz für		Blatt 2/4	
		Ersetzt durch			

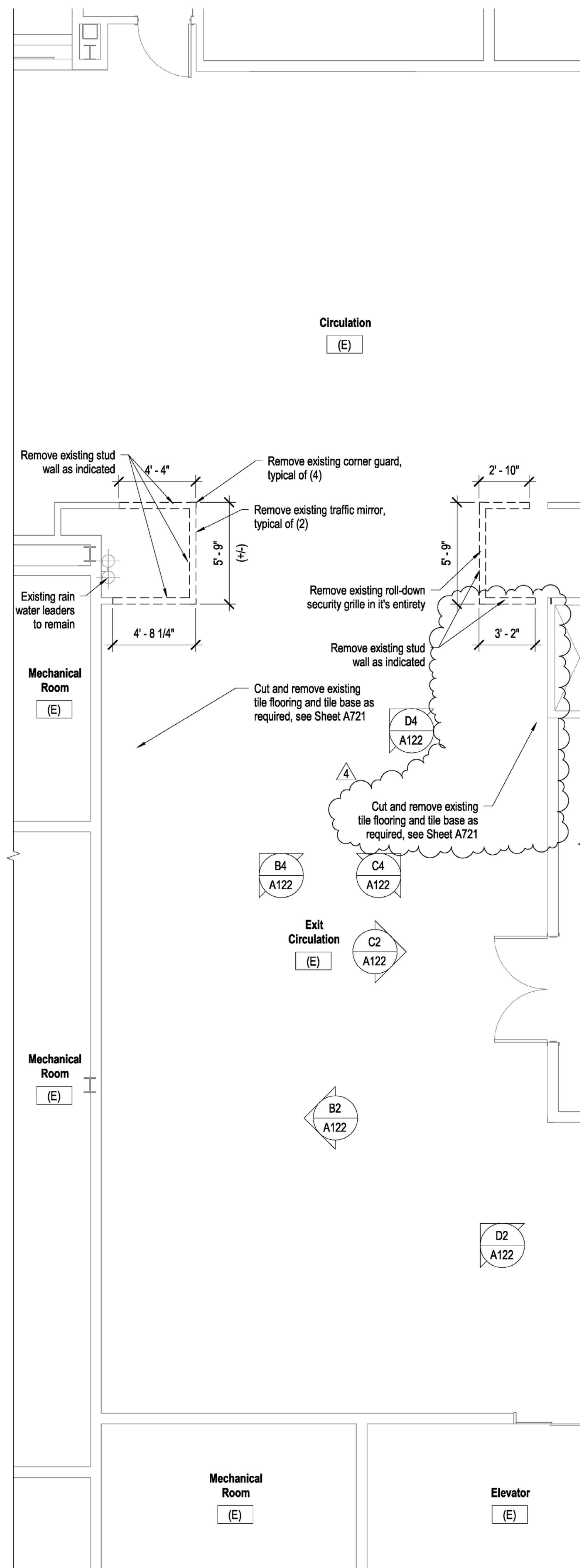
Schnitt 2-2 / Section 2-2



floorfinish in accordance to DIN 18202 ±2 mm required



- Dokument erstellt		22.03.2018	JJH	22.03.2018	BM
Index	Änderung	Datum gez	Name gez	Datum gepr	Name gepr
dormakaba Kaba Gallenschütz GmbH Nikolaus-Otto-Str. 1 Tel.: 07223/286-0 D - 77815 Bühl Fax: 07223/286-111		Kunde		Projekt	
Maßstab		Standort		Auftrags-Nr.	
1:10	PIL-M02_16 triple unit var. 3c PW1120			Dokument-Nr.	Blatt
Schutzvermerk nach DIN ISO 16016 beachten! Zulässige Abweichung für Maße ohne Toleranzangabe: DIN ISO 2768-mK				2040377663- 3/4	
Ersatz für				Ersetzt durch	



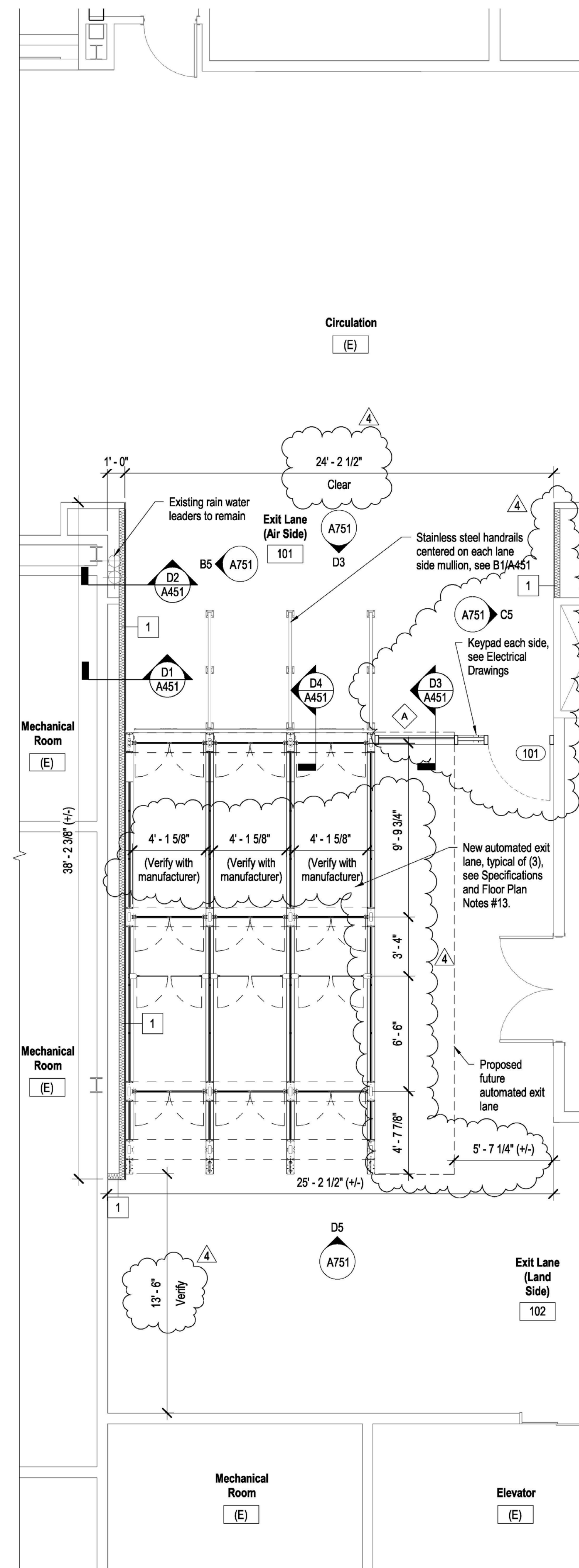
D5 Partial Demolition Floor Plan - 2nd Floor
1/4" = 1'-0"

Demolition Notes

- The Contractor to coordinate demolition operations, schedule and sequencing with RTAA Project Manager. User will occupy the site during construction operations.
- For purposes of Architectural work, all items not shown to be removed or altered on this sheet shall remain in its existing condition. Notify the Architect of any components which vary from those shown on the Drawings.
- The Contractor is to protect adjacent surfaces from damage. The Contractor is to repair or replace all finishes that are damaged or removed due to the installation or removal of any materials, fixtures, accessories or construction noted on these Drawings. Repaired or replaced finishes shall match adjacent finishes.
- The Contractor will be responsible for setting the exact limits of demolition required in order to perform the work.
- Dimensions are from face of finish, unless noted otherwise. Contractor to verify all necessary dimensions in order to execute the Work.
- Remove accessories, board, nails, panels, signs etc. on interior walls to facilitate complete patching and painting of walls.
- See Project Manual and Specifications for additional information and requirements.
- See Mechanical Drawings and Specifications for additional information and requirements.
- See Electrical Drawings and Specifications for additional information and requirements.
- Existing fire alarm system and fire suppression system to remain operational during construction.
- Remove gypsum board at walls and ceilings as needed for installation of new equipment, conduit, etc. replace, patch and repair all removed gypsum board.
- Contractor to restrict public access to exit only to this space during construction. Coordinate with RTAA Project Manager and Security. See Floor Plan Notes for additional security requirements.

Demolition Legend

- Wall, material or component to be removed
- Existing wall or material to remain



D3 Partial Alteration Floor Plan - 2nd Floor
1/4" = 1'-0"

Floor Plan Notes

- Coordinate construction operations, schedule, and sequencing with RTAA Project Manager. User will occupy the building and site during construction operations.
- For purposes of Architectural work, all items not shown to be removed or altered on this sheet shall remain in existing condition. Notify the Architect of any components which vary from those shown on the drawings.
- The Contractor is to protect adjacent surfaces from damage. The Contractor is to repair or replace all finishes that are damaged or removed due to the installation or removal of materials, fixtures, accessories, or construction noted on these drawings. Repaired or replaced finishes shall match adjacent finishes.
- All dimensions are from face of stud to face of stud, unless noted otherwise. Contractor to coordinate and verify all necessary dimensions to fully execute the work.
- The Contractor will be responsible for setting the exact limits of construction required in order to perform the work.
- The Contractor shall maintain a clean environment during all constructions operations, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
- The Contractor shall protect existing finishes from construction traffic, cutting, and all construction activities.
- See Project Manual and Specifications for additional information and requirements.
- See Mechanical Drawings and Specifications for additional information and requirements.
- See Electrical Drawings and Specifications for additional information and requirements.
- All new penetrations and existing penetrations; including but not limited to: conduit, ductwork, piping, etc. in a rated wall assembly, corridor wall, floor, and ceiling shall utilize an approved fire-stop assembly. Use 3M Fire Barrier Sealant CP 25 WB+ (or equal product) when penetrating walls and floors.
- Repaint the entire wall and/or ceiling where alteration work is performed. Paint color and texture to match existing walls and adjacent areas. Paint extents shall be from break point to break point or entire wall/ceiling.
- Contractor shall have one lane fully assembled and operational prior to starting the next lane. Repeat this process for each lane until project completion.
- Contractor shall provide temporary barriers to provide exit only path of travel to passengers during all phases of construction.
- Temporary barrier shall be able to be closed and locked after business hours.
- Contractor shall provide and coordinate a position for TSA personnel to be located during construction to ensure no passengers come back through the exit.
- See Sheet A601 for Door Schedule, Types, and associated detail information.
- See Sheet A601 for Glazing Types and associated detail information.
- Each automated exit lane system shall be provided by the manufacturer to meet the requirements of IBC Chapter 11 and A117.1-2009.

Wall Type Schedule

Type Mark	Description	Area
1	3 5/8" Metal Stud Furring Gyp	561 SF

Wall Legend

- Existing wall
- X New Wall Type, see A4/A451

Paul Cavin Architect LLC

1575 Delucchi Lane, Suite 120
Reno, Nevada 89502

office: (775) 284-7083
mobile: (775) 842-0261

www.paulcavindesign.com
paul@paulcavindesign.com

professional seal



consultant

project

**Reno-Tahoe International Airport
Automated Exit Lanes
PWP # WA-2023-287
Reno-Tahoe Airport Authority
2001 East Plumb Lane
Reno, Nevada 89502**

revisions

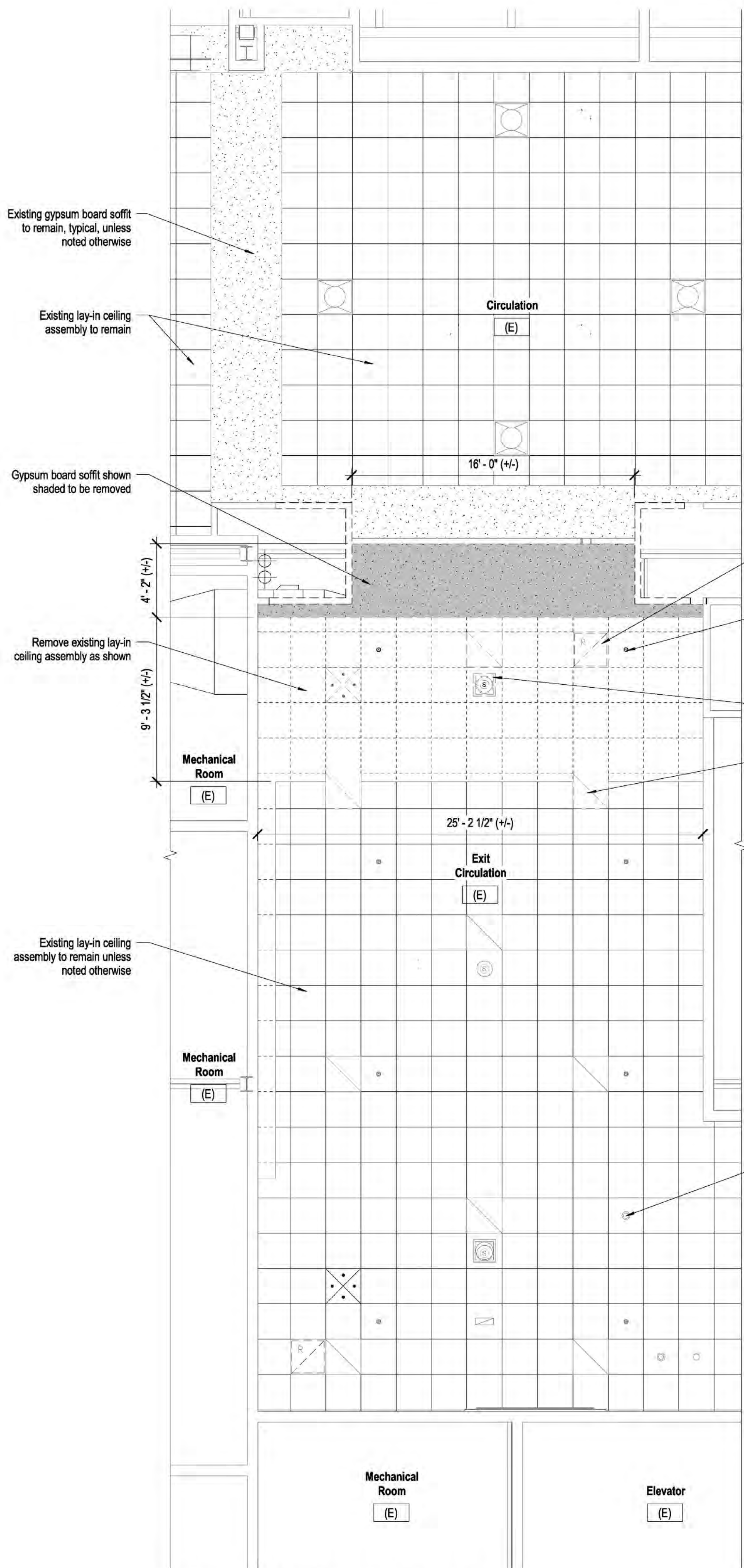
No.	Description	Date
4	RFI #7	01/30/24

drawn by JAP/RBR
reviewed by PAC
date 7/10/23
project number 22038
drawing name

Partial Floor Plans
- 2nd Floor

sheet number

A121

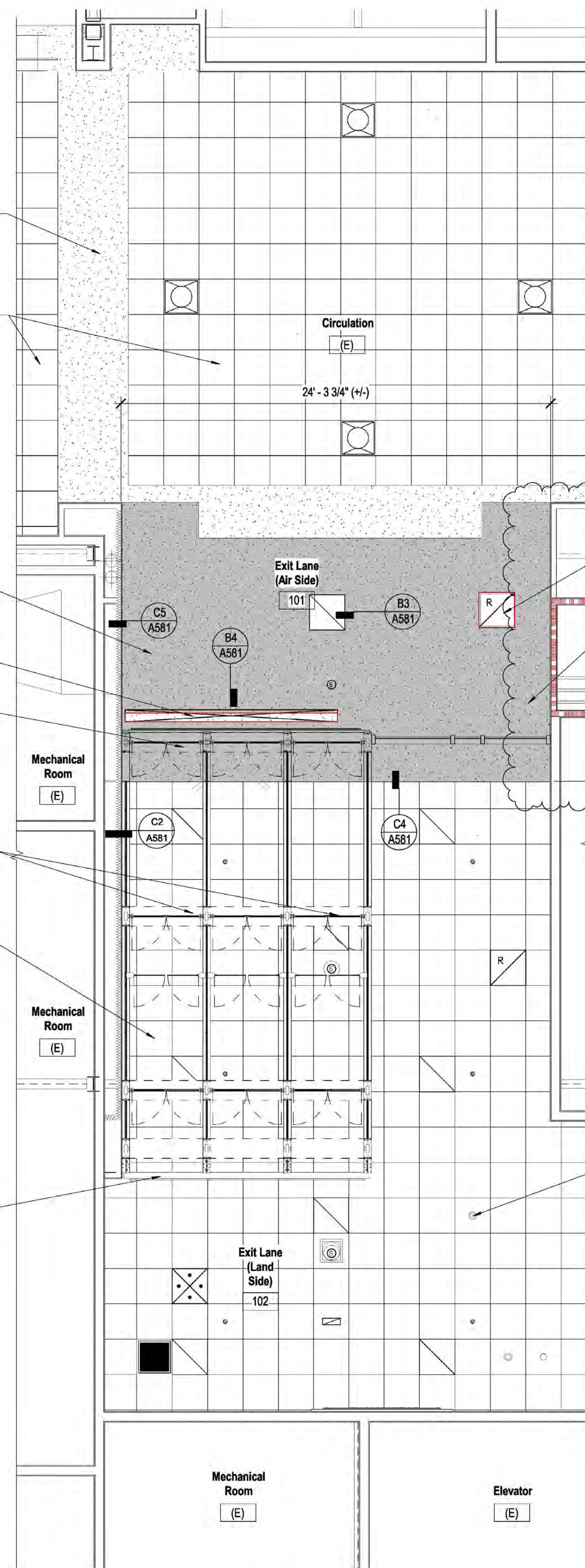


Demolition Reflected Ceiling Notes

1. Coordinate construction operations, schedule, and sequencing with RTAA Project Manager. User will occupy the building and site during construction operations.
2. For purposes of Architectural work, all items not shown to be removed or altered on this sheet shall remain in existing condition. Notify the Architect of any components which vary from those shown on the drawings.
3. The Contractor is to protect adjacent surfaces from damage. The Contractor is to repair or replace all finishes that are damaged or removed due to the installation or removal of materials, fixtures, accessories, or construction noted on these drawings. Repaired or replaced finishes shall match adjacent finishes.
4. All dimensions are from face of stud to face of stud, unless noted otherwise.
5. The Contractor will be responsible for setting the exact limits of construction required in order to perform the work.
6. The Contractor shall maintain a clean environment during all constructions operations, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
7. The Contractor shall protect existing finishes from construction traffic, cutting, and all construction activities.
8. See Project Manual and Specifications for additional information and requirements.
9. See Mechanical Drawings and Specifications for additional information and requirements.
10. See Electrical Drawings and Specifications for additional information and requirements.
11. Existing fire alarm system and fire suppression system to remain operational during construction.

- Relocate existing mechanical registers as required, see Mechanical Drawings
- Relocate existing fire sprinkler heads as required
- Relocate existing speaker as required, see Electrical Drawings
- Relocate existing light fixtures as required, see Electrical Drawings

Existing security cameras to remain unless noted otherwise, see Electrical Drawings



Reflected Ceiling Plan Notes

1. Contractor shall comply with IBC, local codes and manufacturers written instructions and recommendations for installation of lay-in ceiling.
2. See Project Manual and Specifications for additional information and requirements.
3. See Mechanical Drawings and Specifications for additional information and requirements.
4. See Electrical Drawings and Specifications for additional information and requirements.

- Mechanical register, see Mechanical Drawings
- Aluminum curtain wall system below, see Floor Plan

Existing security cameras, see Electrical Drawings

D5 Partial Demolition Reflected Ceiling Plan - 2nd Floor
1/4" = 1'-0"

D3 Partial Alteration Reflected Ceiling Plan - 2nd Floor
1/4" = 1'-0"

**Paul Cavin
Architect LLC**

1575 Delucchi Lane, Suite 120
Reno, Nevada 89502

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mobile: (775) 842-0261

www.paulcavindesign.com
paul@paulcavindesign.com



consultant

project
**Reno-Tahoe International Airport
Automated Exit Lanes
PWP # WA-2023-287**
Reno-Tahoe Airport Authority
2001 East Plumb Lane
Reno, Nevada 89502

revisions

No.	Description	Date
4	RFI #7	01/30/24

drawn by JAP/RBR
reviewed by PAC
date 7/10/23
project number 22038
drawing name

**Partial Reflected
Ceiling Plans - 2nd
Floor**

sheet number

A521

Door Schedule

Door Number	Size (width x height)	Door				Frame			Details				Label	Hardware Group	Remarks	
		Pair	Material	Type	Glass	Material	Size	Type	Glass	Head	Strike	Hinge				Sill
101	3' - 6" x 7' - 0"		AL	FG	G1	AL	2" x 6"	A		D2/A601	C2/A601	C1/A601	D1/A601	-	H1	

Glazing and Door Schedule Legend

AL - Aluminum	P - Painted	WV - Wood veneer
(e) - Existing	S - Spandrel	V.I.F. - Verify in field
HM - Hollow metal	SC - Solid core	G1 - 1" Insulated glazing, frosted
OC - Overhead coiling	ST - Steel	
MWP - Metal Window Panel Basis of Design: Mapes-R Panel, 1" thick with Anodized Clear Panel each side to match curtain wall	T - Tempered	

Door Notes

- See Specifications for additional information and requirements.
- The hardware supplier shall coordinate cylinders and keying with the client building staff.
- All new doors and hardware shall meet current ADA and ANSI standards.

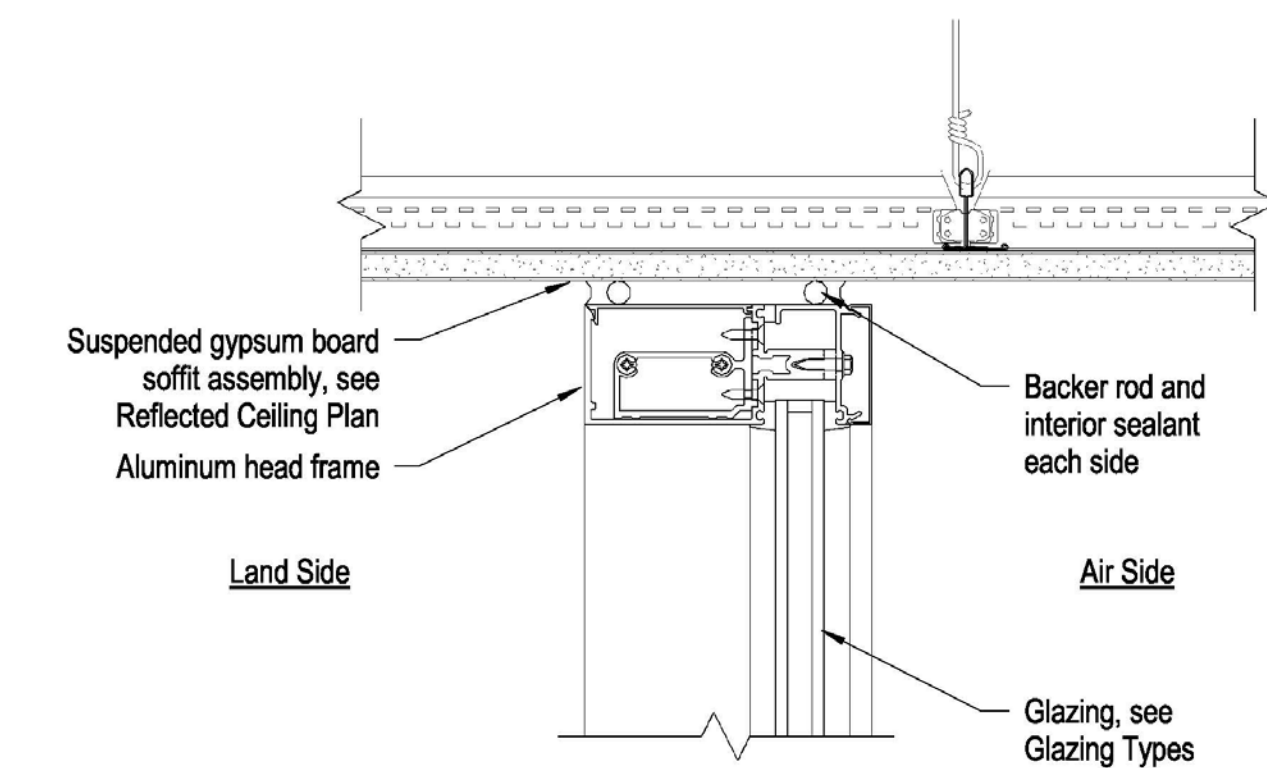
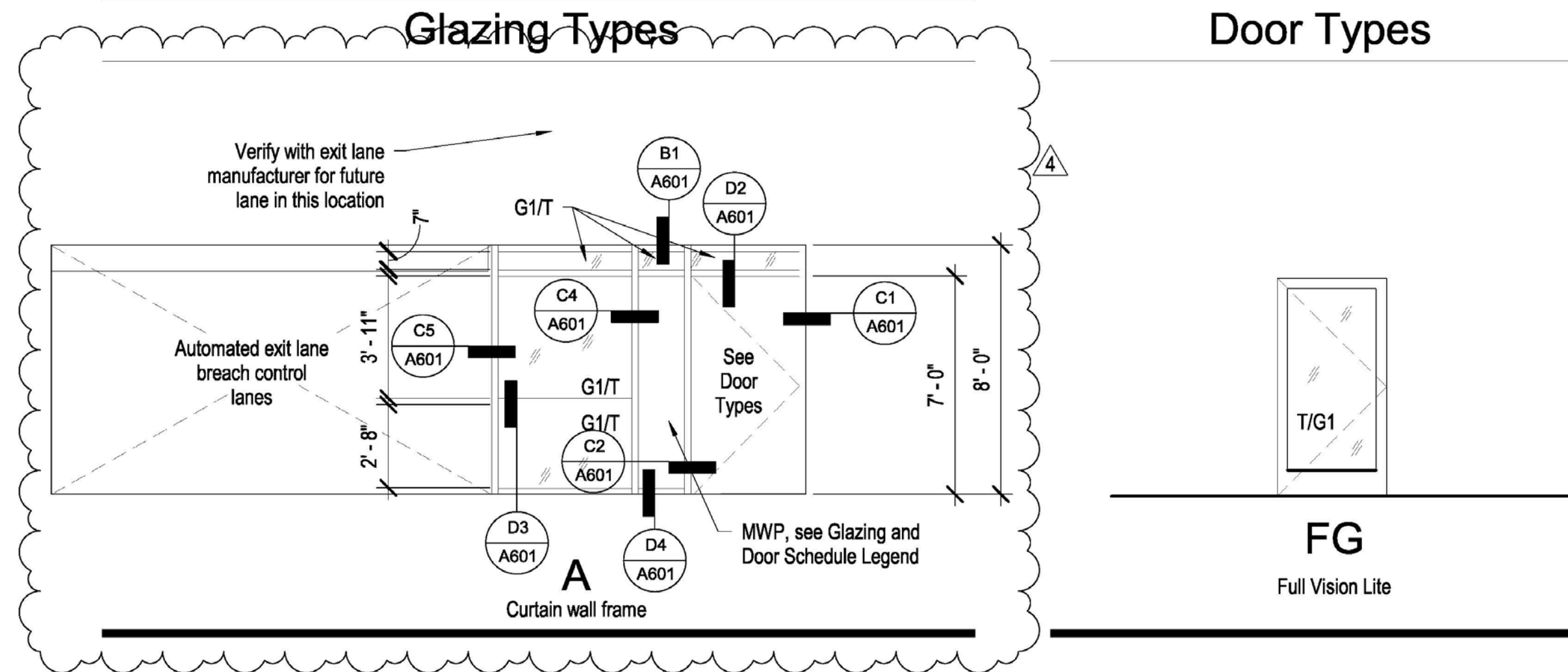
Door Hardware Groups

1. Door Hardware groups are as follows:

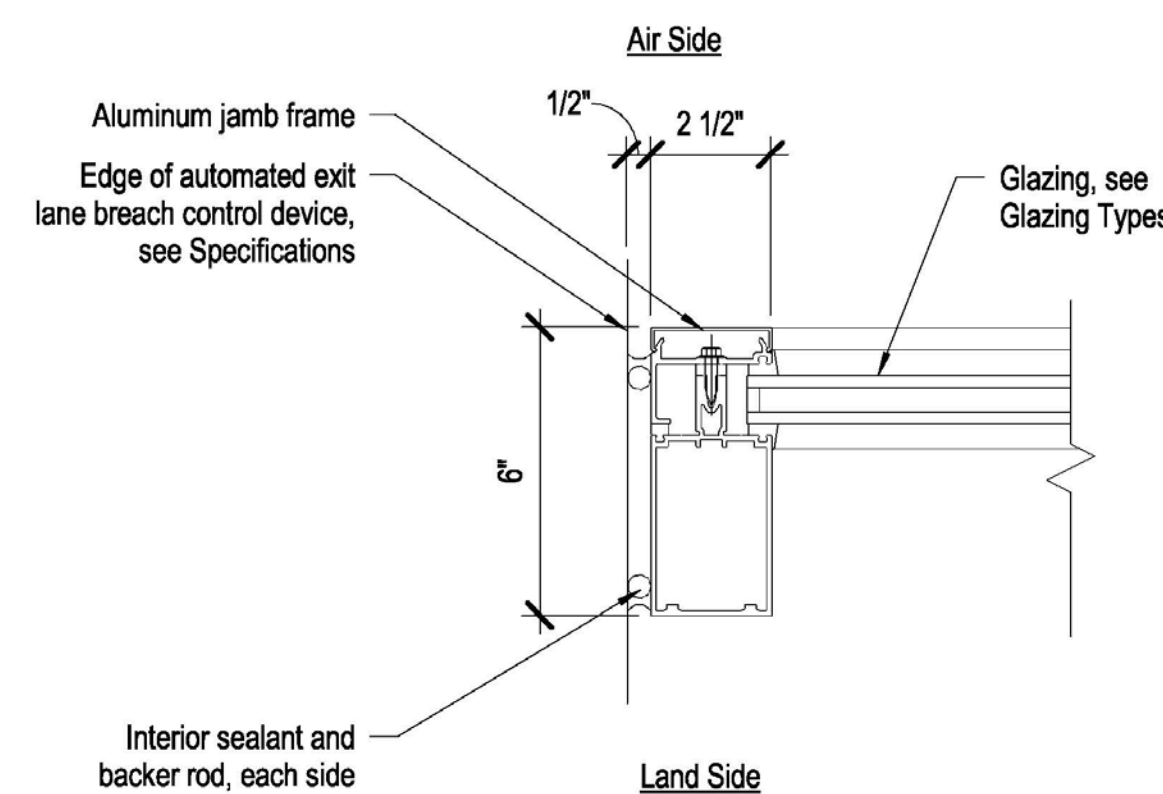
H1	Quantity	Item	Description	Manufacturer	Finish
	1	Continuous Geared Hinge	-	Curtain Wall Manufacturer	
	1	Closer	-	Curtain Wall Manufacturer	
	1	Delayed/Armed Panic Hardware	-	Curtain Wall Manufacturer	
	1	Card Reader	See Electrical Drawings and Specifications		
	1	Strike	-	Curtain Wall Manufacturer	

2. All locksets to use cylindrical type cylinders.

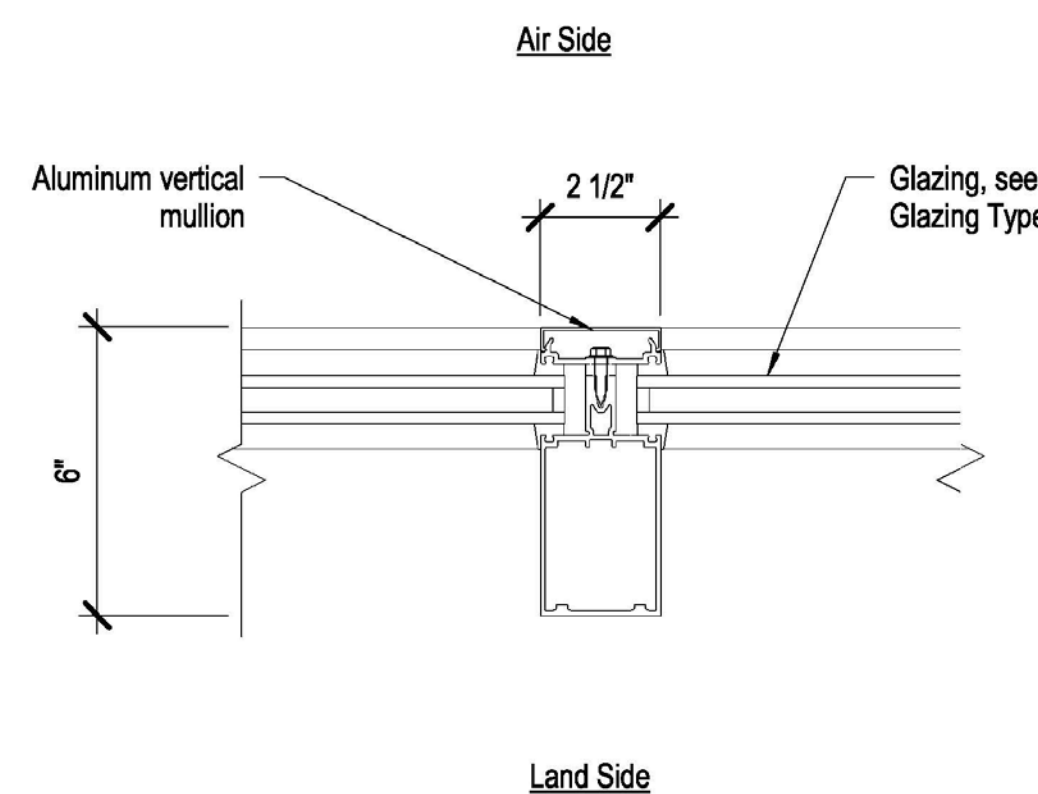
3. Keying shall be coordinated with RTAA building maintenance staff and Project Manager.



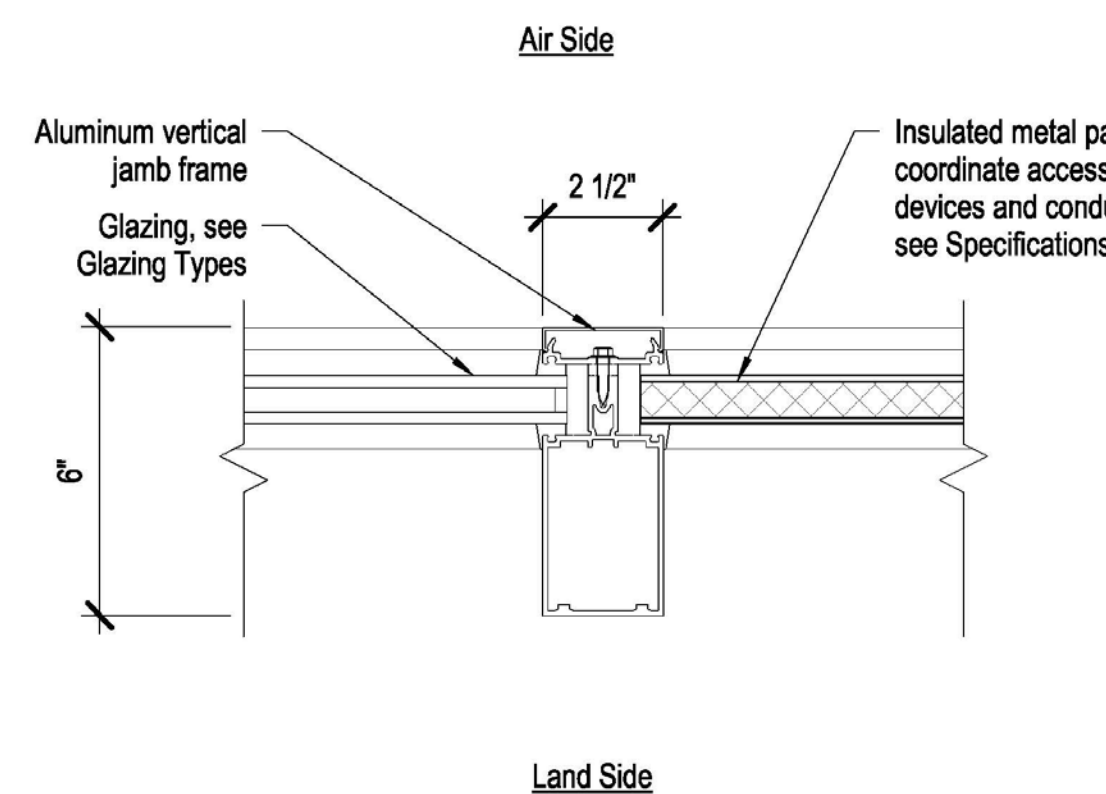
B1 Curtain Wall Transom Head
3" = 1'-0"



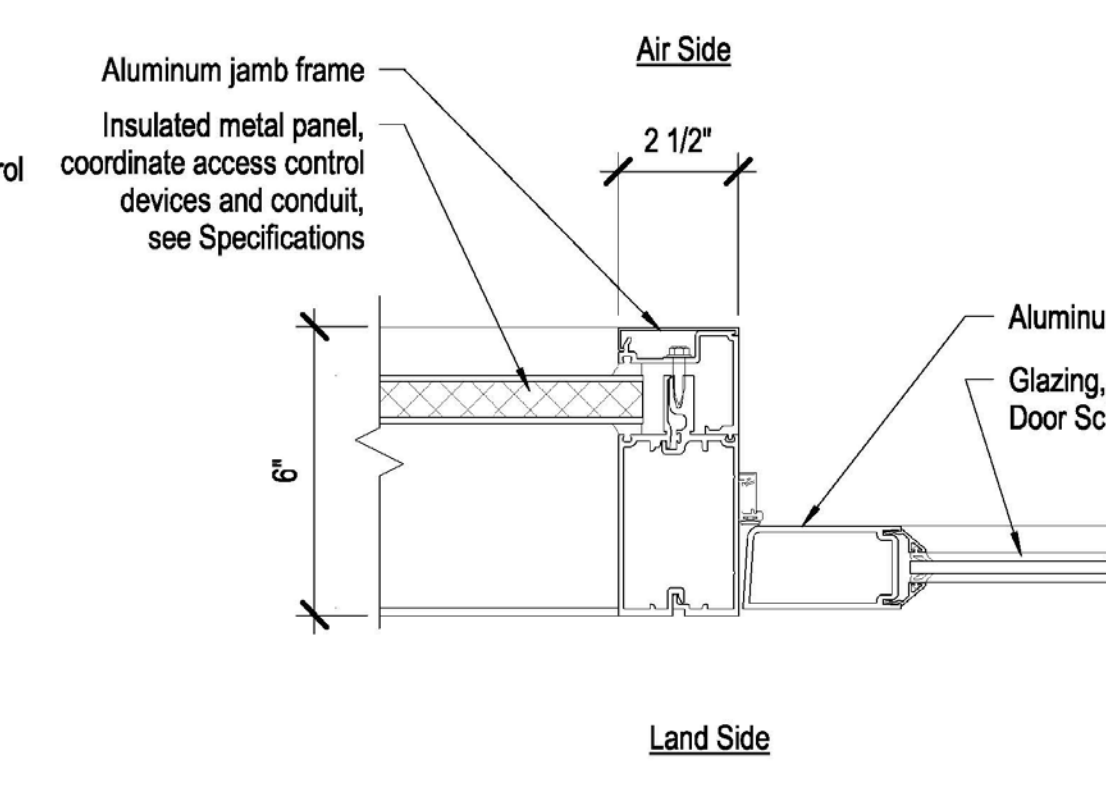
C5 Curtain Wall Jamb at Exit Lane
3" = 1'-0"



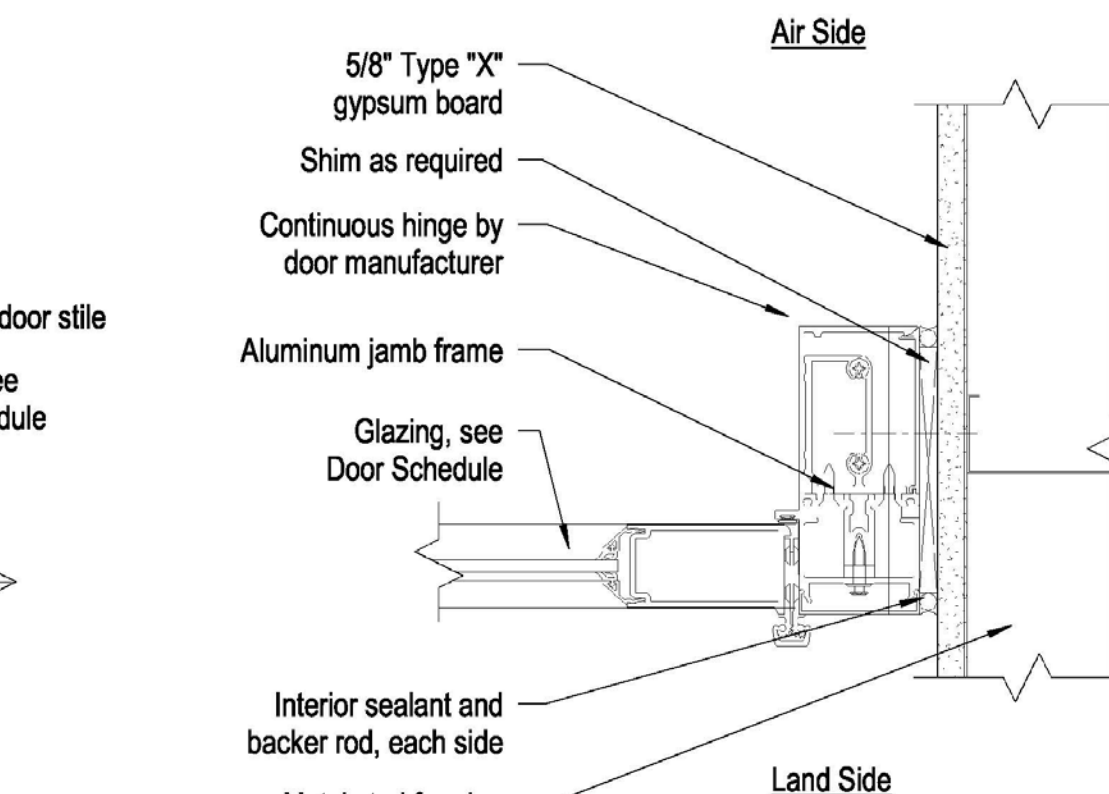
C4 Curtain Wall Vertical Mullion
3" = 1'-0"



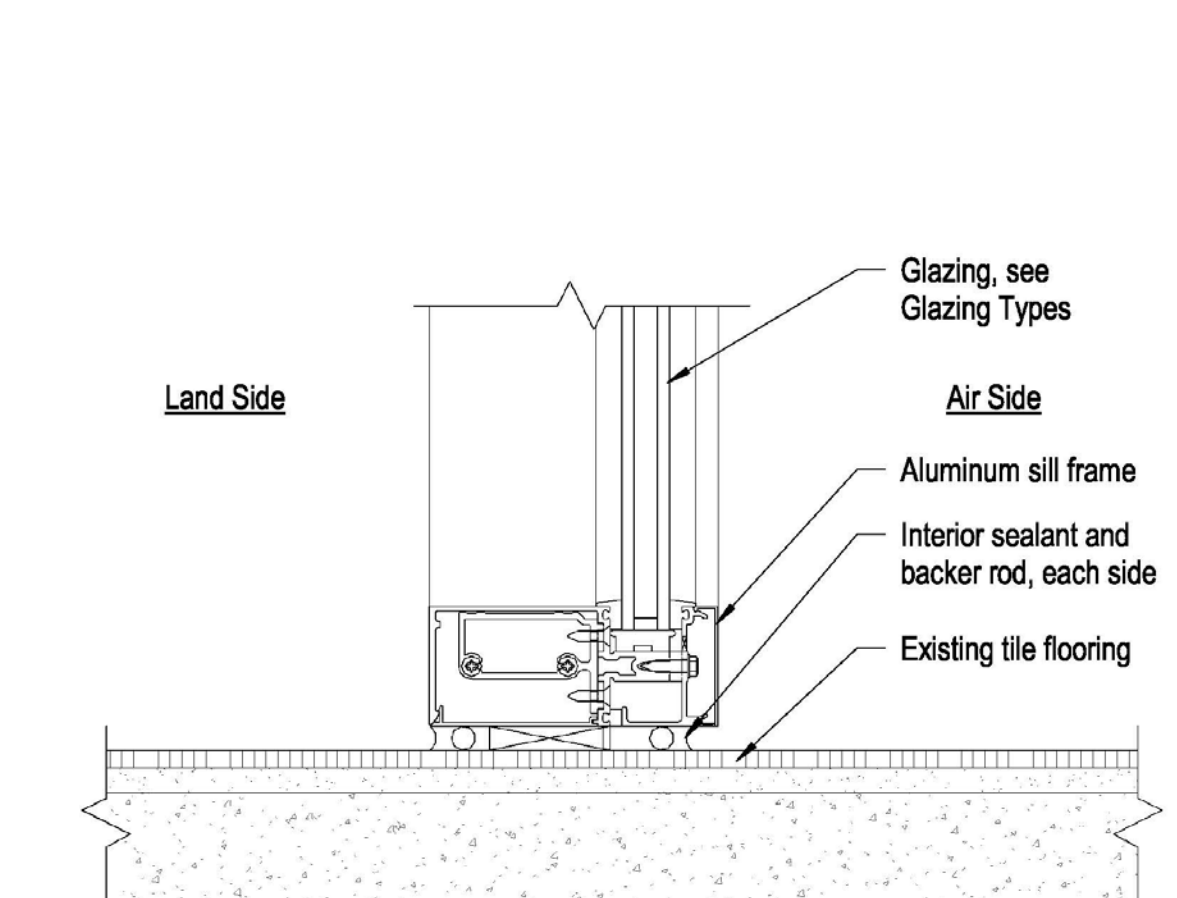
C3 Curtain Wall Vertical Mullion at Metal Panel
3" = 1'-0"



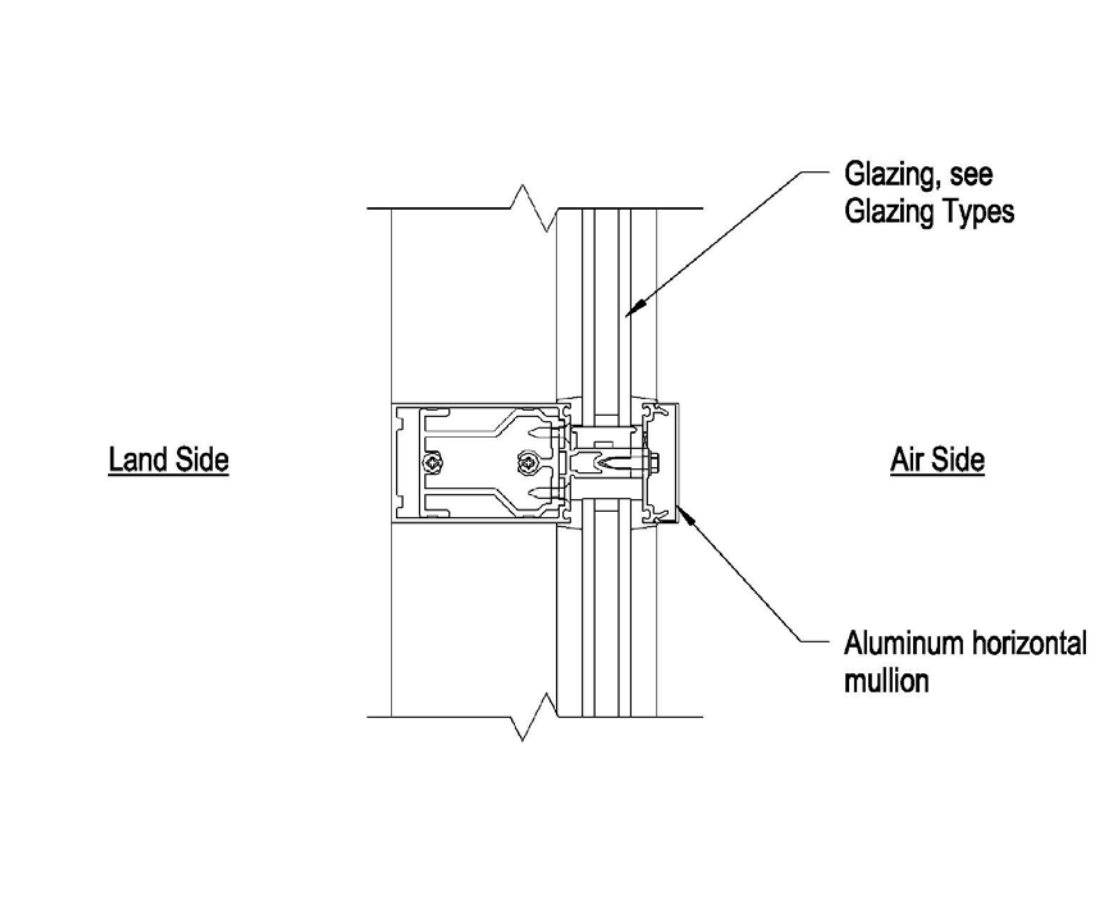
C2 Door Jamb - Strike Side
3" = 1'-0"



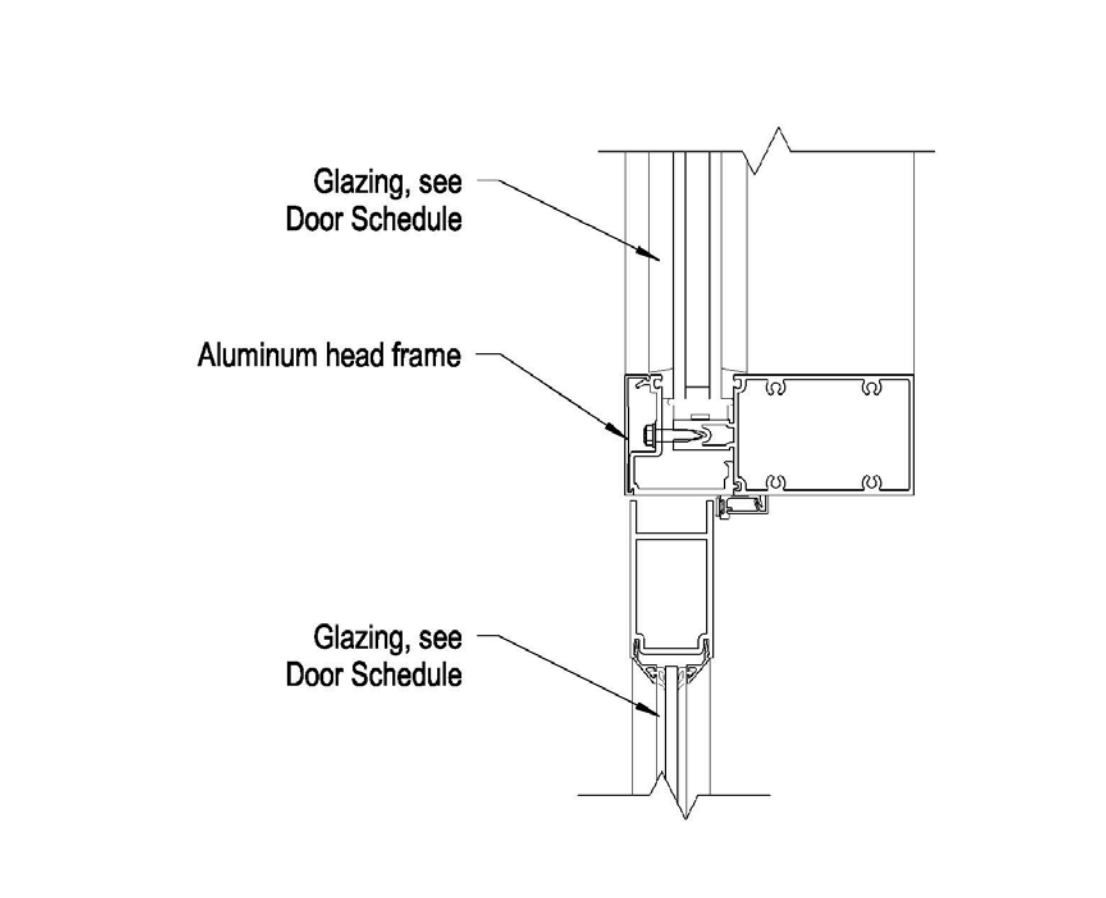
C1 Door Jamb - Hinge Side
3" = 1'-0"



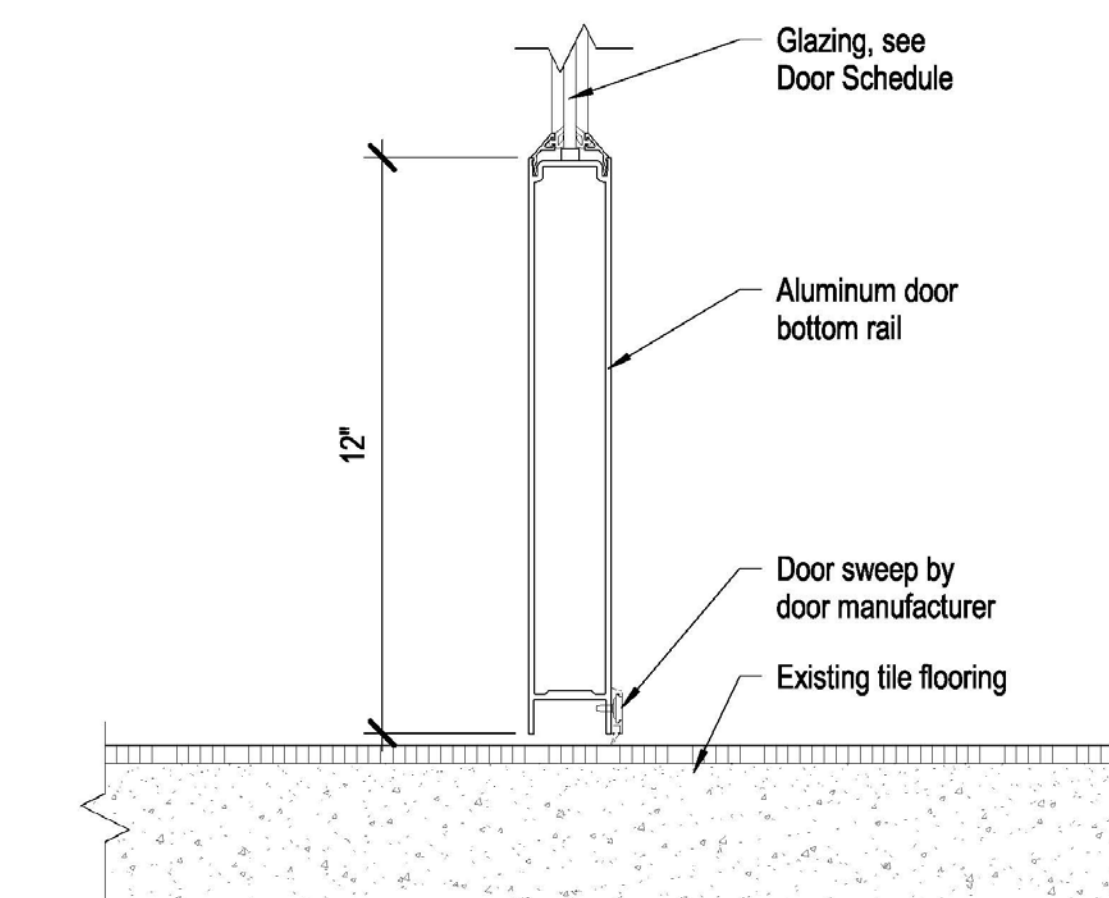
D4 Curtain Wall Sill
3" = 1'-0"



D3 Curtain Wall Horizontal Mullion
3" = 1'-0"



D2 Door Head at Transom
3" = 1'-0"



D1 Door Threshold
3" = 1'-0"

**Paul Cavin
Architect LLC**

1575 Delucchi Lane, Suite 120
Reno, Nevada 89502

office: (775) 284-7083
mobile: (775) 842-0261

www.paulcavindesign.com
paul@paulcavindesign.com



consultant

project
**Reno-Tahoe International Airport
Automated Exit Lanes
PWP # WA-2023-287
Reno-Tahoe Airport Authority
2001 East Plumb Lane
Reno, Nevada 89502**

revisions

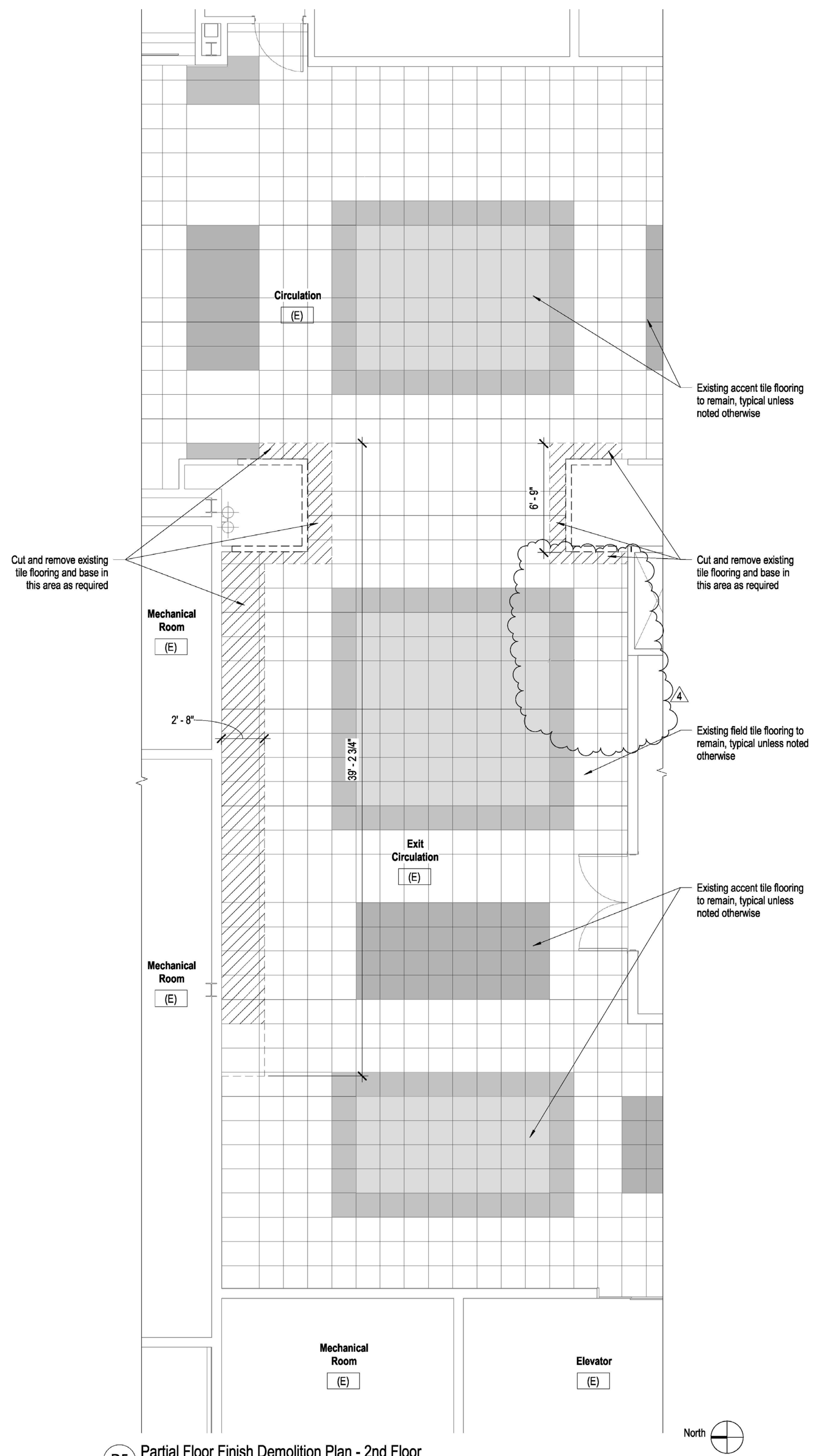
No.	Description	Date
4	RFI #7	01/30/24

drawn by JAP/RBR
reviewed by PAC
date 7/10/23
project number 22038
drawing name

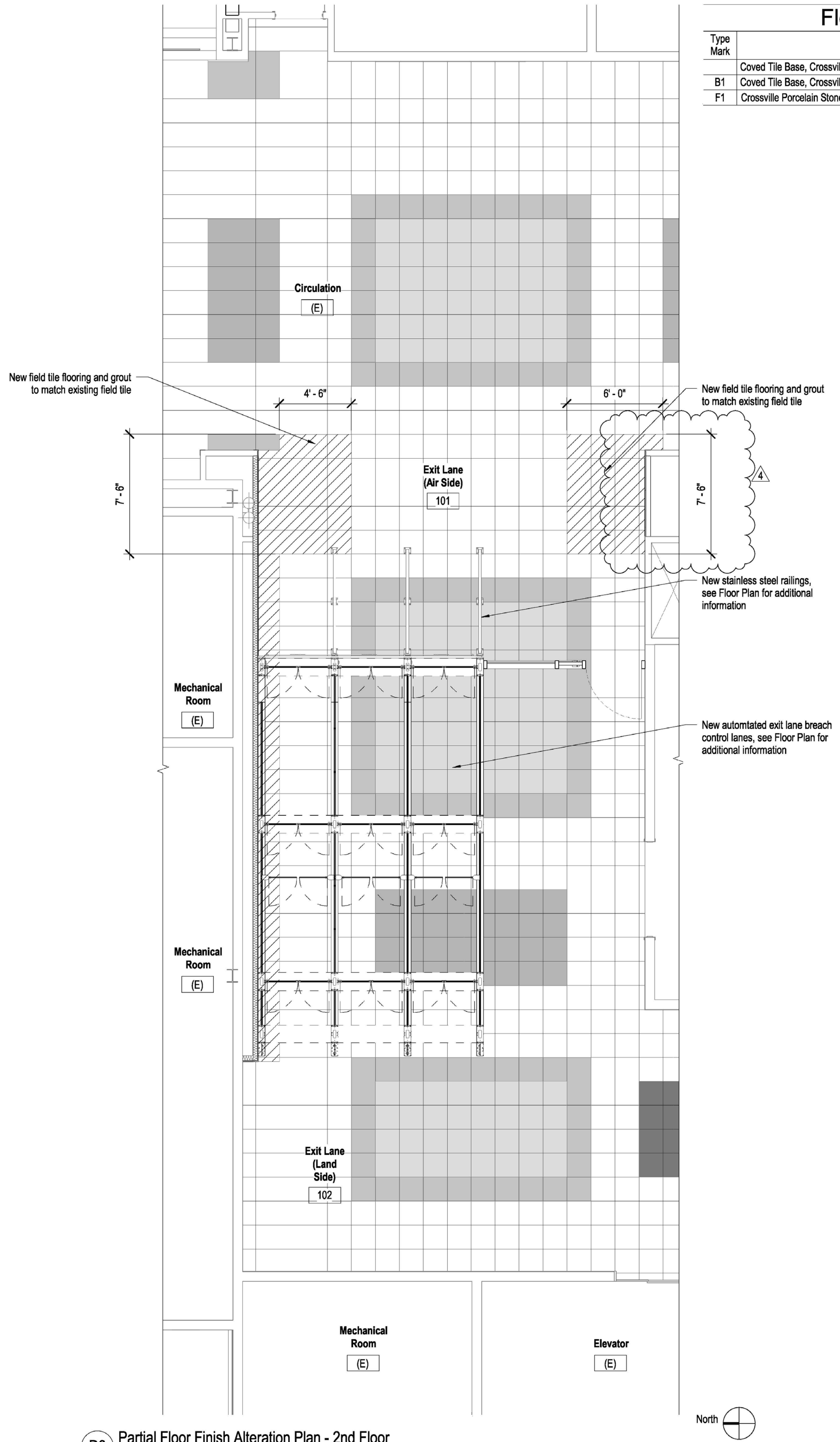
**Door and Window
Schedules**

sheet number

A601



D5 Partial Floor Finish Demolition Plan - 2nd Floor
1/4" = 1'-0"



D3 Partial Floor Finish Alteration Plan - 2nd Floor
1/4" = 1'-0"

Floor Schedule

Type Mark	Description	Area
	Coved Tile Base, Crossville, A1102 Roasted Marshmallow, see Specifications	0 SF
B1	Coved Tile Base, Crossville, A1102 Roasted Marshmallow, see Specifications	180 SF
F1	Crossville Porcelain Stone, A1102 "Roasted Marshmallow", see Specifications	122 SF

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consultant

project

**Reno-Tahoe International Airport
Automated Exit Lanes
PWP # WA-2023-287**

Reno-Tahoe Airport Authority
2001 East Plumb Lane
Reno, Nevada 89502

revisions

No.	Description	Date
4	RFI #7	01/30/24

drawn by JAP/RBR
reviewed by PAC
date 7/10/23
project number 22038
drawing name

**Partial Floor Finish
Plans - 2nd Floor**

sheet number

A721

Site Location
 Owner: Reno International Tahoe Airport
 2001 East Plumb Lane, Reno, NV 89502

Dormakaba Exit Gate Power RFI 02/09/24 Version 0.2



KD Electric
 681 Watson Way
 Sparks, NV 89431
 (775)357-9767
NV Electrical Contractors License C-2 0081321
CA Electrical Contractors License C-10 1058910

Damon Hobbs
 Master Electrician

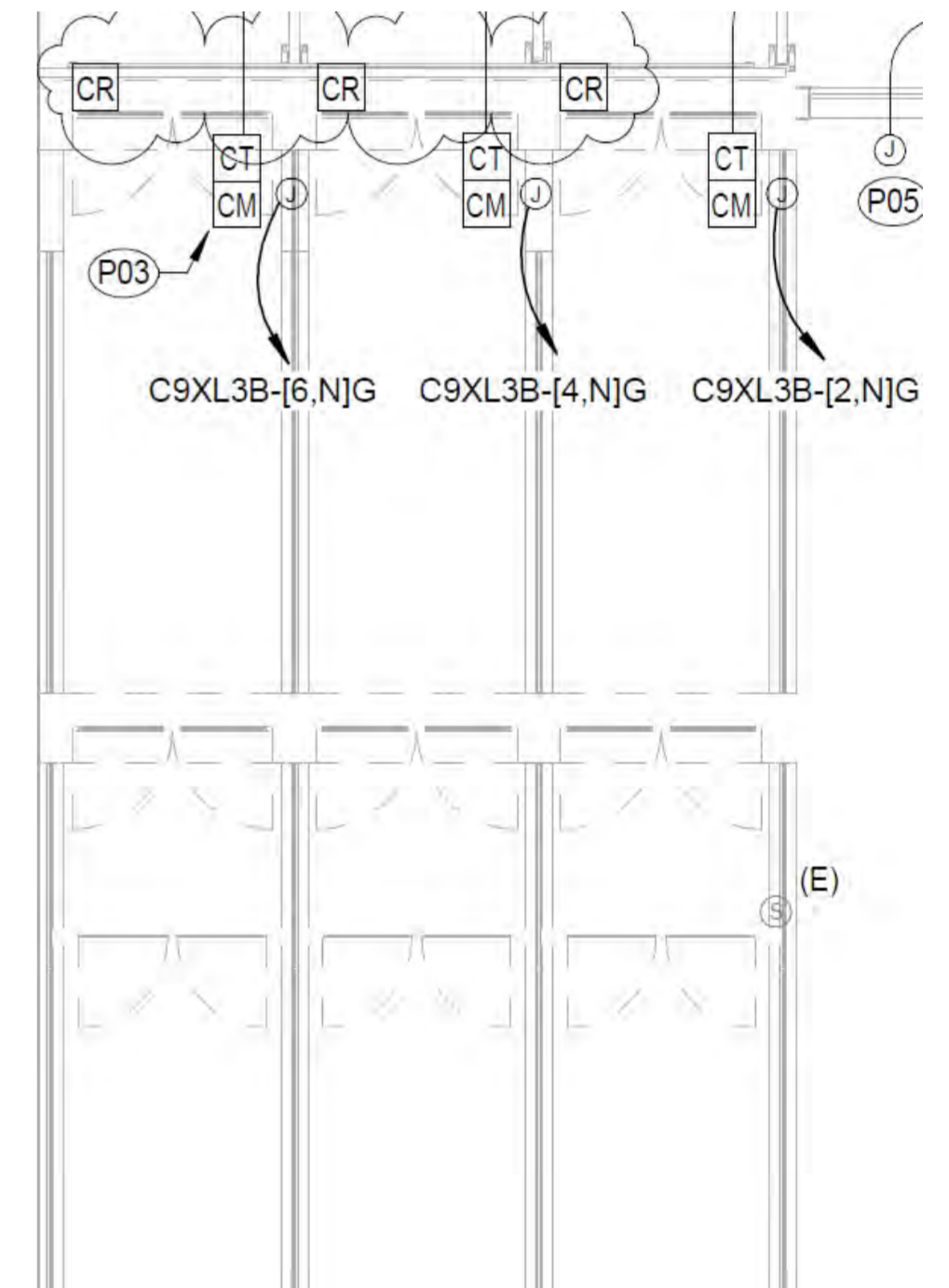
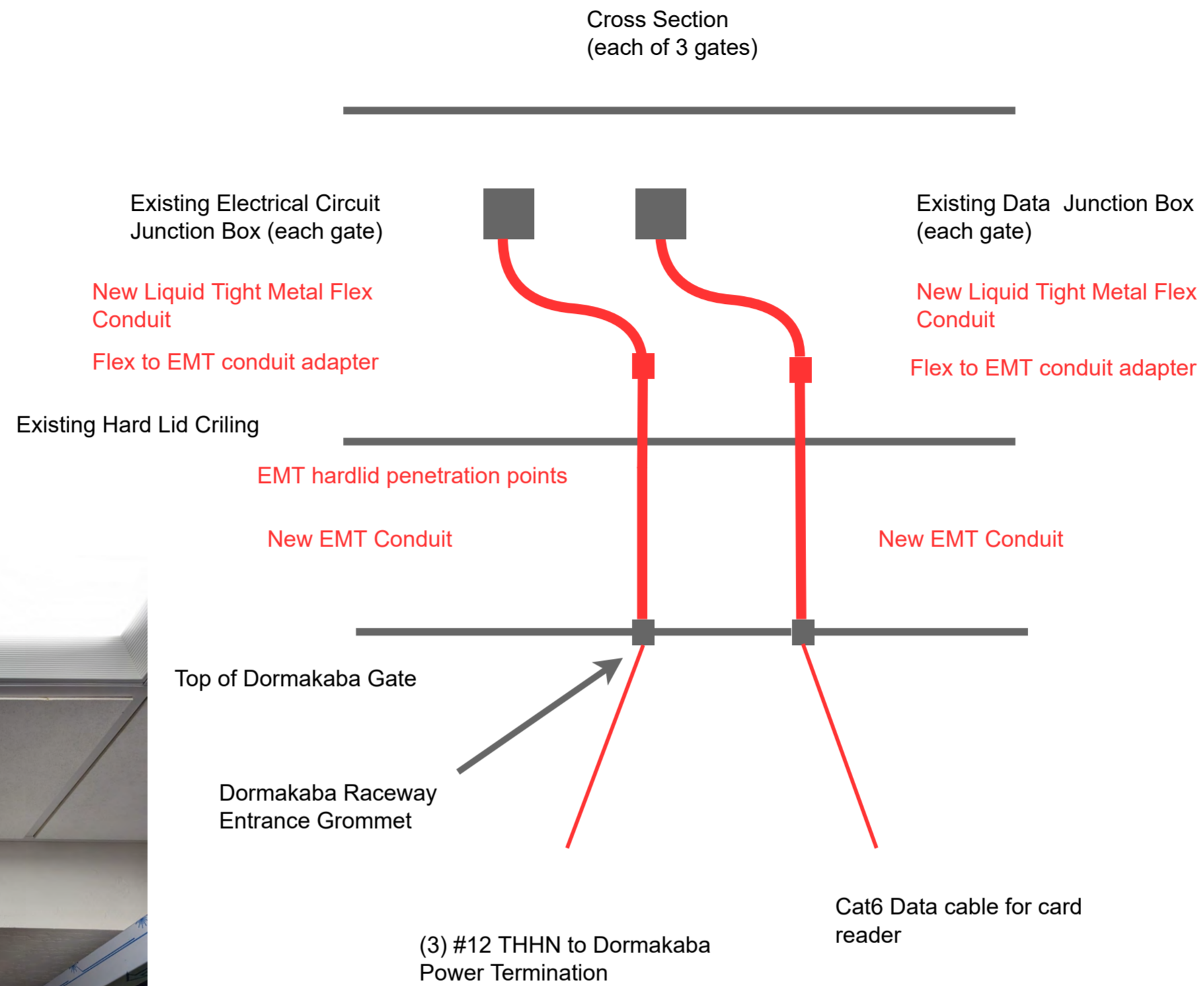
NV License Limit \$245,000
 Classification: C-2 Electrical

Scope of Work: EV Charger Installation

- Install (N) Metal Flex Conduit and conductors from existing junction box to EMT Conduit above each Dormakaba gate, EMT penetrating hardlid directly above Dormakaba raceway entry
- Install new flex conduit from existing data junction box to (N) surface mount junction box
- Install new metal flex conduit from (N) surface mount data junction box to EMT Conduit above and penetrating hardlid, Dormakaba gate raceway entrance



New EMT conduit (rough estimat location)



NTS

RFI Diagram

E0.1



Q&D Construction
1050 S. 21st St.
Sparks, Nevada 89431
Phone: +17757862677

Project: 16705 - RNO Auto Exit Lanes
2001 E. Plumb Lane
Reno , Nevada 89502

Power Termination for Dormakaba System

TO:	Jeffrey Purcell (Paul Cavin Architect LLC)	FROM:	Johnathan Carrillo (Q&D Construction)
DATE INITIATED:	02/09/ 2024	STATUS:	Closed on 02/13/24
LOCATION:		DUE DATE:	02/16/2024
COST CODE:		REFERENCE:	
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD
DRAWING NUMBER:		SPEC SECTION:	26 05 33 - Raceway and Boxes for Electrical Systems
LINKED DRAWINGS:			
RECEIVED FROM:	Greg Howard (KD Electric)		
COPIES TO:			
Johnathan Carrillo (Q&D Construction), Sharon Groux (Q&D Construction), Greg Howard (KD Electric), Jon Lau (Reno-Tahoe International Airport), Joe Mamola (CME, Inc), Lincoln Riley (CME, Inc), Colt Waller (Q&D Construction), Stacy Yokoyama (CME, Inc)			

Question from Johnathan Carrillo (Q&D Construction) at 11:48 AM on 02/09/2024

Attached is the proposed layout for the addition for the Dormakaba power termination. Please confirm if the layout provided in this drawing is acceptable.

Attachments:

[Power Termination for Domakaba System_ RFI 9.pdf](#)

Official Response: Jeffrey Purcell (Paul Cavin Architect LLC) responded on Tuesday, February 13th, 2024 at 8:17AM PST

Please see the attached response to RFI #9.

Attachments:

[RFI #9 Power Termination for Dormakaba System-PCA LLC Response.pdf](#)

All Replies:

Response from Jeffrey Purcell (Paul Cavin Architect LLC) at 08:17 AM on 02/13/2024

Please see the attached response to RFI #9.

Attachments:

[RFI #9 Power Termination for Dormakaba System-PCA LLC Response.pdf](#)

The attached RFI is issued to you for coordination and clarification purpose. Through the review of this RFI you find that it impacts your scope of work for both schedule and cost please notify Q&D Construction within five (5) business days from the distribution date of the RFI. If this RFI response is a change to your scope of work you are not authorized to proceed without a signed subcontract change order or written notification from Q&D Construction. We will consider this RFI answer no impact to cost and schedule if there is no response received after five (5) business days from the RFI distribution date.

BY _____

DATE _____

COPIES TO _____



Q&D CONSTRUCTION
est. 1964

Q&D Construction
1050 S. 21st St.
Sparks, Nevada 89431
Phone: +17757862677

RFI #9

Project: 16705 - RNO Auto Exit Lanes
2001 E. Plumb Lane
Reno , Nevada 89502

Power Termination for Dormakaba System

TO:	Jeffrey Purcell (Paul Cavin Architect LLC)	FROM:	Johnathan Carrillo (Q&D Construction)
DATE INITIATED:	02/09/ 2024	STATUS:	Open
LOCATION:		DUE DATE:	02/16/2024
COST CODE:		REFERENCE:	
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD
DRAWING NUMBER:		SPEC SECTION:	26 05 33 - Raceway and Boxes for Electrical Systems
LINKED DRAWINGS:			
RECEIVED FROM:	Greg Howard (KD Electric)		
COPIES TO:			
Johnathan Carrillo (Q&D Construction), Sharon Groux (Q&D Construction), Greg Howard (KD Electric), Jon Lau (Reno-Tahoe International Airport), Joe Mamola (CME, Inc), Lincoln Riley (CME, Inc), Colt Waller (Q&D Construction), Stacy Yokoyama (CME, Inc)			

Question from Johnathan Carrillo (Q&D Construction) at 11:48 AM on 02/09/2024

Attached is the proposed layout for the addition for the Dormakaba power termination. Please confirm if the layout provided in this drawing is acceptable.

Attachments:

[Power Termination for Domakaba System_ RFI 9.pdf](#)

All Replies:

The attached RFI is issued to you for coordination and clarification purpose. Through the review of this RFI you find that it impacts your scope of work for both schedule and cost please notify Q&D Construction within five (5) business days from the distribution date of the RFI. If this RFI response is a change to your scope of work you are not authorized to proceed without a signed subcontract change order or written notification from Q&D Construction. We will consider this RFI answer no impact to cost and schedule if there is no response received after five (5) business days from the RFI distribution date.

Proposed layout was reviewed on the site on 02.12.24 with RTAA, CME, Dormakaba, Q&D, and Greg from KD Electric via phone and it was decided it would not work as proposed. Please see the attached marked up PDFs for the requested j-box locations, conduits, and wiring routing. Coordinate all of this with Dormakaba on the jobsite.

Jeffrey Purcell
Paul Cavin Architect LLC
02.13.24

BY _____

DATE _____

COPIES TO _____

Site Location
 Owner: Reno International Tahoe Airport
 2001 East Plumb Lane, Reno, NV 89502

Dormakaba Exit Gate Power RFI 02/09/24 Version 0.1



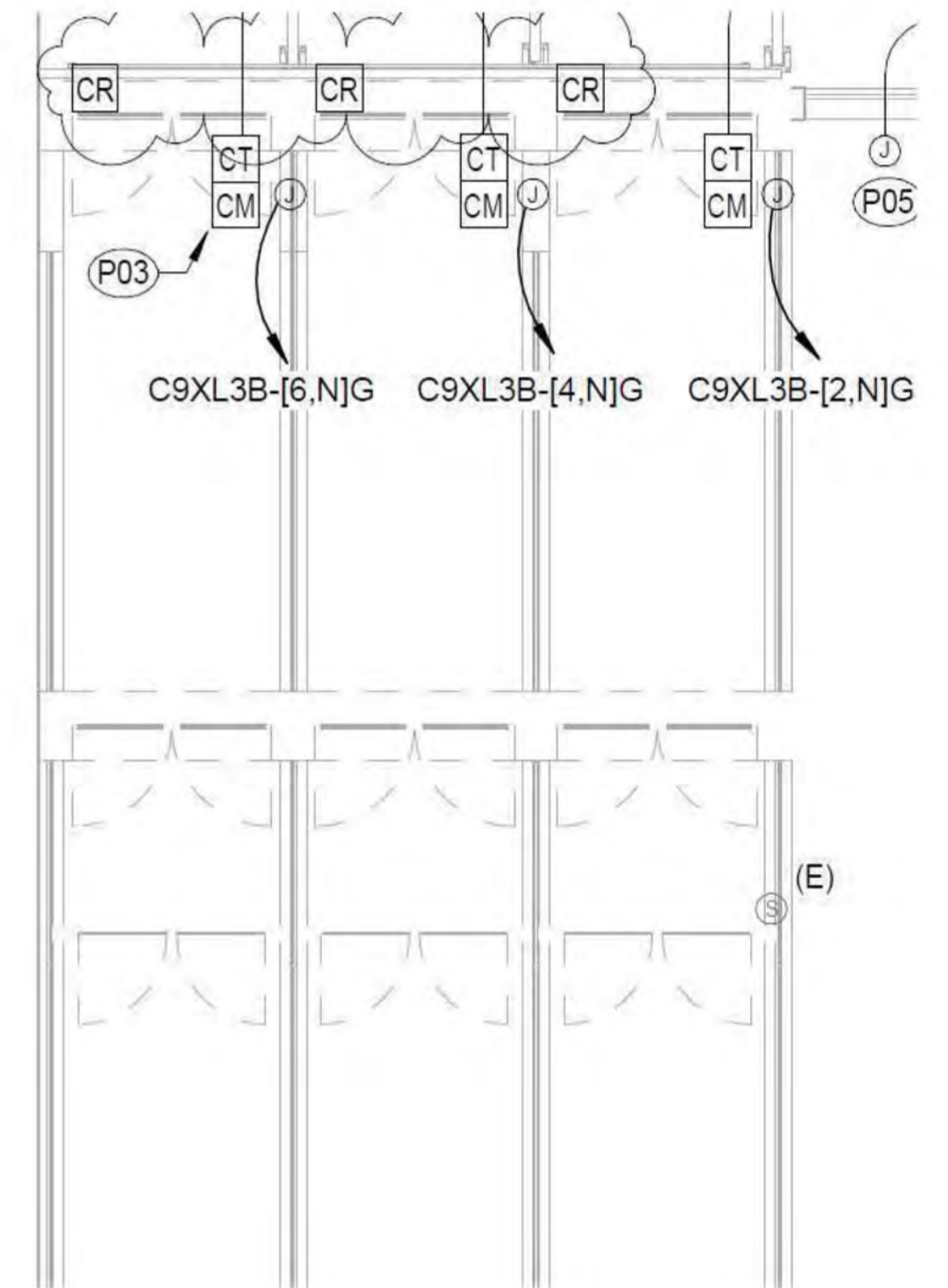
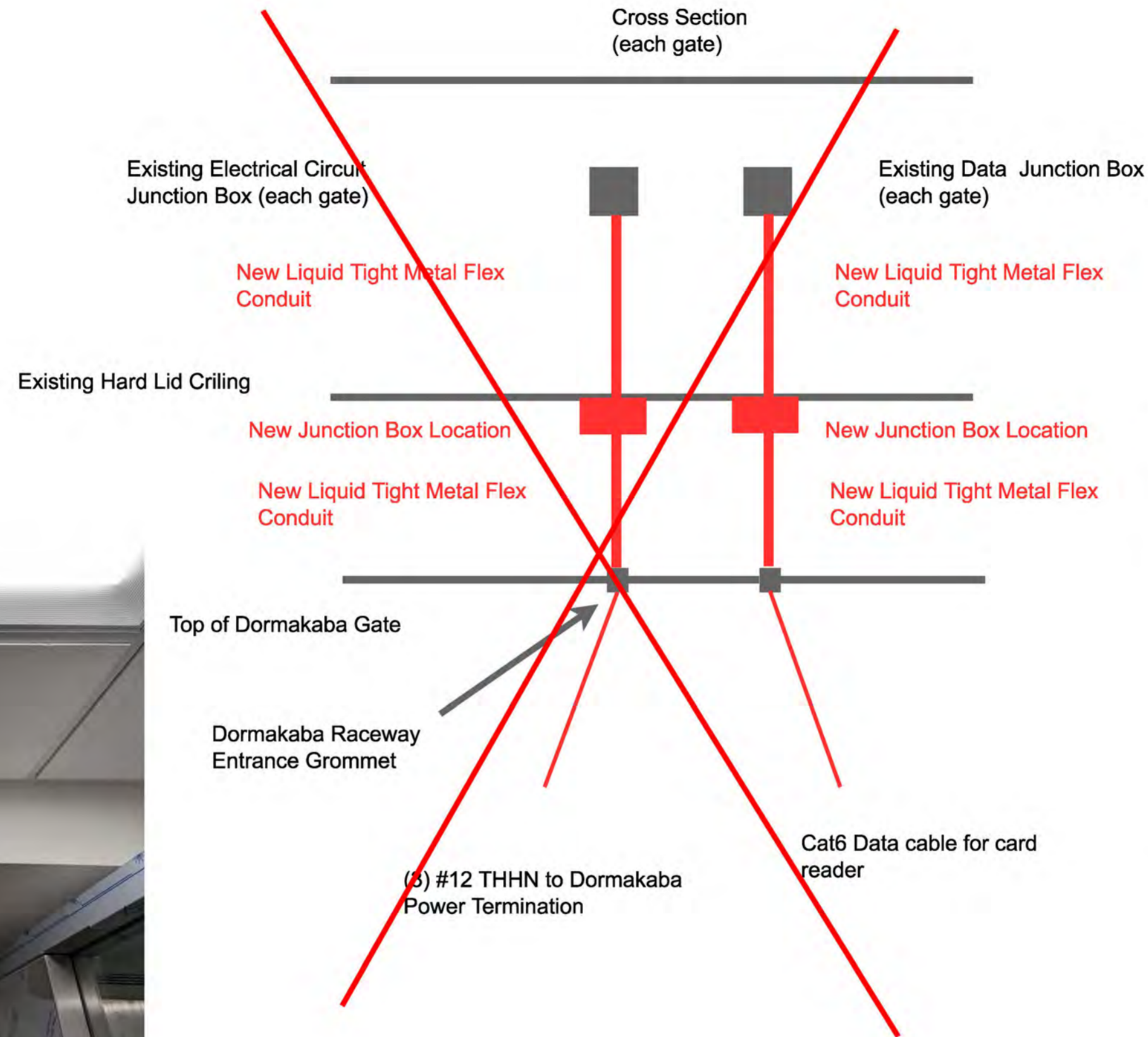
KD Electric
 681 Watson Way
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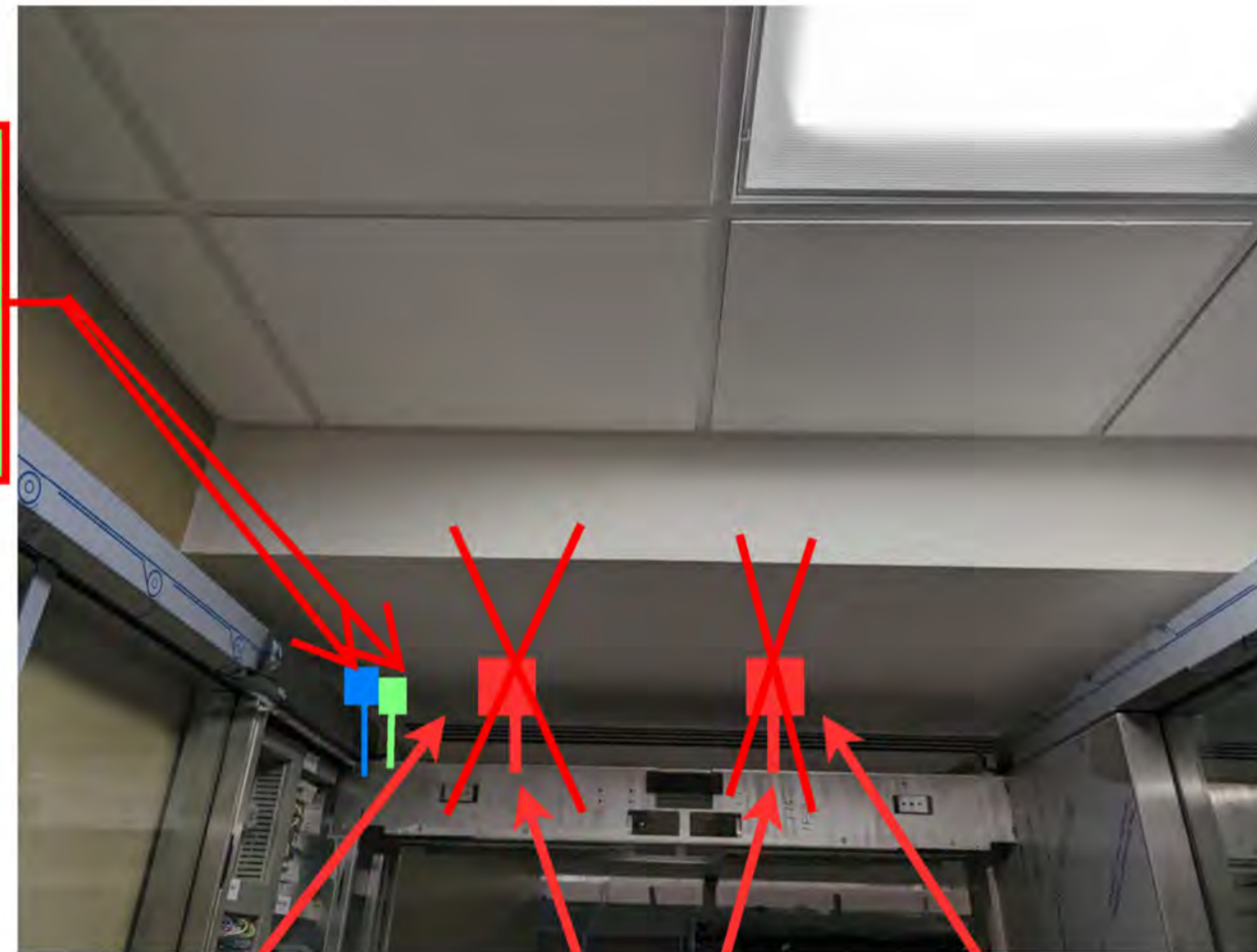
NV License Limit \$245,000
 Classification: C-2 Electrical

~~Scope of Work: EV Charger Installation~~

- ~~• Install (N) Metal Flex Conduit and conductors from existing junction box to new surface mount junction box above each Dormakaba gate~~
- ~~• Install (N) surface mount junction box above each Dormakaba gate~~
- ~~• Install (N) metal flex conduit from (N) surface mount junction box to Dormakaba gate raceway entrance~~
- ~~• Install new flex conduit from existing data junction box to (N) surface mount junction box~~
- ~~• Install new metal flex conduit from (N) surface mount data junction box to Dormakaba gate raceway entrance .~~



Locate j-box above gypsum soffit directly above the power and CAT 6 ports in the first section of the exit lane system, coordinate locations with Dormakaba. Typical at (3) lanes.



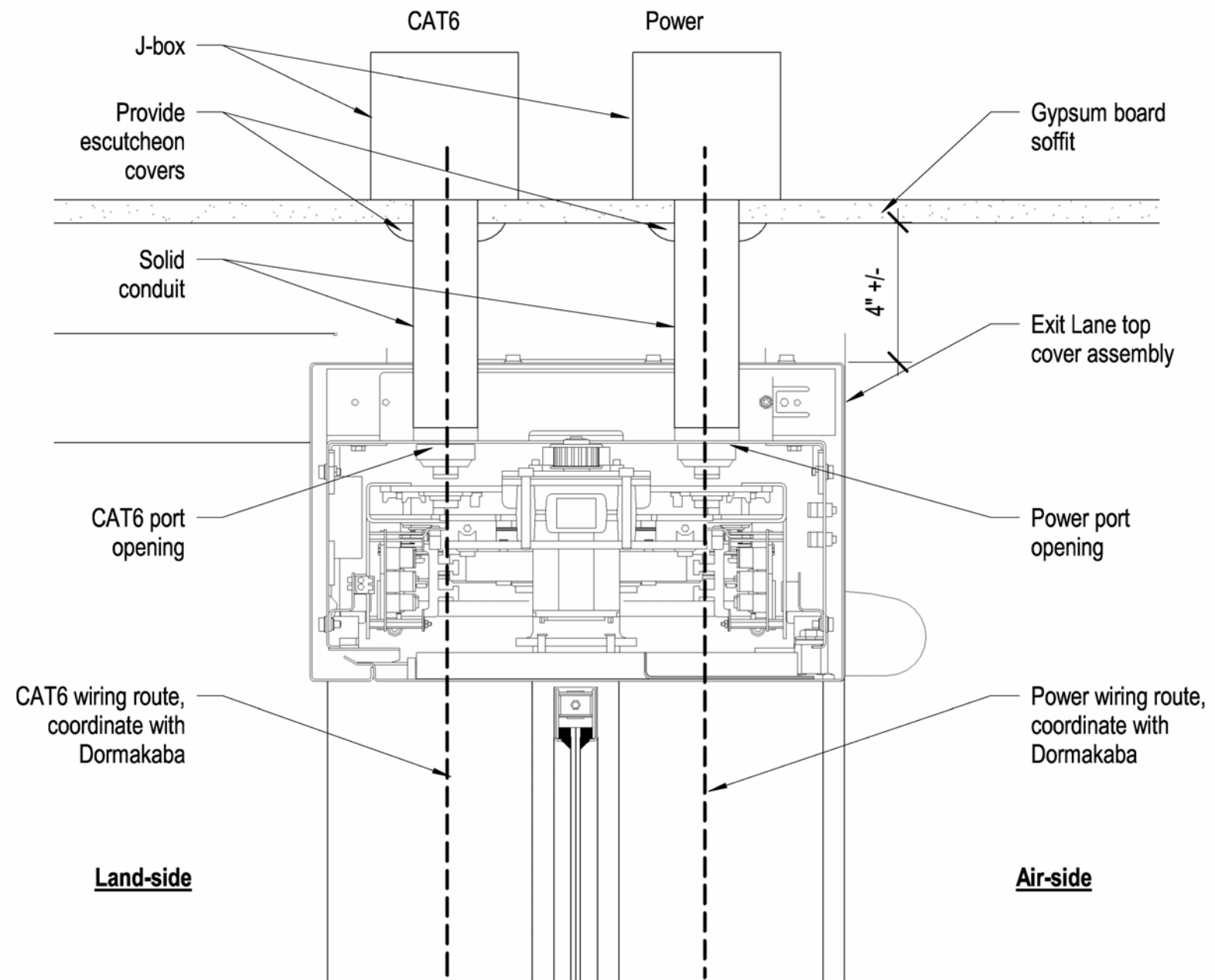
~~New Electrical Junction Box Location~~

~~New metal liquid tight flexible conduit, from junction box to Dormakaba structure raceway~~

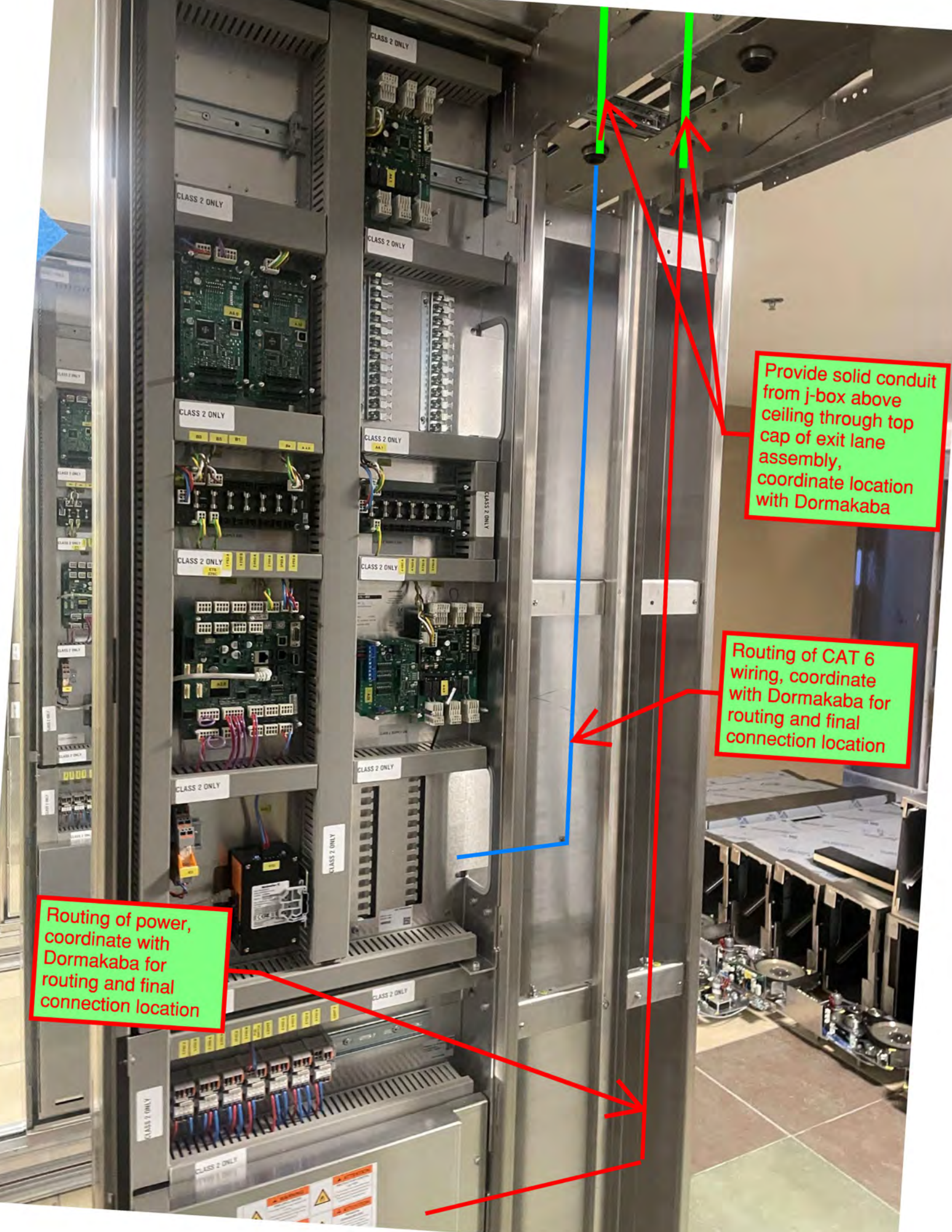
~~New Data Junction Box Location~~

NTS

RFI Diagram
 E0.1



Typical power and CAT6 connection at exit lane (Looking North)



Provide solid conduit from j-box above ceiling through top cap of exit lane assembly, coordinate location with Dormakaba

Routing of CAT 6 wiring, coordinate with Dormakaba for routing and final connection location

Routing of power, coordinate with Dormakaba for routing and final connection location

Opening through exit
lane top cap for CAT
6 rigid conduit

Opening through exit
lane top cap for
power rigid conduit

Land-side

Air-side

RENO-TAHOE AIRPORT AUTHORITY CONTINGENCY CHANGE ORDER



CCO No.

Contractor:

Project:

Solicitation Number:

Summary of Change and List of Attachments:

This Contingency Change Order sets forth the terms and conditions to provide labor, equipment, material and full compensation to install a new illuminated "Do Not Enter" sign at the bottom of the Auto Exit Lane escalators, "DO NOT ENTER" stair decals and "DO NOT EXIT" and "NOT AN EMERGENCY EXIT" vinyl decals on the Auto Exit Lane Doors.

The following will be added to the schedule of values:

PCO No. 04 - Additional Signage \$23,641.87

Enclosures:

Q&D Construction Change Order Request No. 04 dated April 30, 2024

RFI No. 11 - Do Not Enter Sign Relocation

RFI No. 16 - Not an Exit Decal for Door #101

Submittal #10 14 00 - 1.1 - Do Not Enter Signage Shop Drawings

Contingency Change Order Summary:

Contract Contingency Total:	\$	<input type="text" value="50,000.00"/>	
Total Previously Approved:	\$	<input type="text" value="19,205.86"/>	
Total Change this Authorization:	\$	<input type="text" value="23,641.87"/>	ADD
Remaining Contingency Balance:	\$	<input type="text" value="7,152.27"/>	

Change in Contract Times:

Original Duration:	<input type="text" value="90"/>
Previous Authorization:	<input type="text" value=""/>
This Authorization:	<input type="text" value="0"/>
Revised Contract Time:	<input type="text" value="90"/>

Contract Summary:

Original Contract:	\$	<input type="text" value="366,432.00"/>
Total Previously Approved CO's	\$	<input type="text" value="0.00"/>
Total Previously Approved CCO's	\$	<input type="text" value="19,205.86"/>
Contract Sum Prior to this CCO	\$	<input type="text" value="385,637.86"/>
Total Change this Authorization:	\$	<input type="text" value="23,641.87"/>
New Contract Sum:	\$	<input type="text" value="409,279.73"/>

Contractor Signature *Sharon Groux* Date: 5/14/2024

Project Mgr Signature *Jon Lau* Date: 5-15-24

Q&D Construction, Senior Project Engineer: Sharon Groux

RTAA Project Mgr: Jon Lau

Construction Mgr Signature *Joe Mamola* Date: 5/14/2024

Manager Signature *Gary Probert* Date: 5/15/24

CME, Construction Manager: Joe Mamola

RTAA Chief of Planning & Infrastructure: Gary Probert



CHANGE ORDER REQUEST

PCO No. 004

Project No.: 16705. - RNO Auto Exit Lanes

Date: 04/30/2024

To: Joe Mamola
Reno-Tahoe Airport Authority
2001 E. Plumb Lane
Reno, NV 89502

From: Sharon Groux
Q&D Construction LLC
PO Box 10865
Sparks, NV 89510

Phone: 775-745-6996
Fax:
Email:

Phone:
Fax:
Email: sgroux@qdconstruction.com

cc:

Below is the detail for our proposal to complete the following changes in contract work:

- Change Order Request: RFI-11 Install new Do Not Enter sign in new Ticket Hall
- Proposed Scope of Work: RFI 11 - Install new "Do Not Enter" sign at the bottom of the escalators to match those in the new Ticketing Hall. Electrical is within 10' of new sign location, no additional needs. Drywall cut back and patch as needed, with installation of a new access panel. Paint the entire ceiling. Work to all be done at night.

PCO Item	Change (in Days)	Amount
1 : Stitser Drywall Bid# 08 Cut in new access panel Patch back drywall as needed after signage installation. Proposal dated 4/25/24		\$1,211.31
2 : Yesco Remove and dispose of existing sign. Engineer, supply, and install new Type B02 sign. Connect to electrical included. Proposal dated 4/3/24		\$16,525.00
3 : Contract Flooring Prime and paint entire ceiling. Contract is T&M. Figured 1 man, 8 hours at \$52.04/hr from CP reports		\$416.32
4 : Q&D Supply 30x30 Access Panel. Supervision for 3 nights at \$80/hr.		\$2,201.24
5 : 1% Insurance		\$204.00
6 : 15% Contractor Fee		\$3,084.00

Total \$ \$23,641.87

Submitted By:

Approved By:

Sharon Groux
Date 04/30/2024

Reno-Tahoe Airport Authority
Date

Q&D Construction Potential Change Order

Date: 04/30/24

INTERNAL Change Order [1]

OWNER Change Order [2]

PCO #: 4

Project No.: 16705

Project Name: RNO Auto Exit Lanes

Description/Details: RFI 11 - Install new "Do Not Enter" sign at the bottom of the escalators to match those in the new Ticketing Hall. Electrical is within 10' of new sign location, no additional needs. Drywall cut back and patch as needed, with installation of a new access panel. Paint the entire ceiling. Work to all be done at night.

Reason: Budget Adjust Consultant Directive Contingency Field Condition Owner Defective Other

Initiated By: Subcontractor Owner Internal Architect Customer Vendor

Chg Impact: Estimate Contract

Add General Liability Ins: Yes No

Add O/H & Profit: Yes No

Additional Days Requested: 0

Sub/Supplier	Scope of Work	Contract Item [3]	Phase Code [4]	Qty	Unit \$	COST TYPES [5]						Total
						CT 1 [M]	CT 2 [L]	CT 4 [OE]	CT 5 [RE]	CT 6 [S]	CT 7 [O]	
Stitser	Cut in new access panel. Patch back drywall as needed after signage installation. Proposal dated 4/25/24	02	09.250.000							1,211.31		1,211.31
Yesco	Remove and dispose of existing sign. Engineer, supply, and install new Type B02 sign. Connect to electrical included. Proposal dated 4/3/24	02	10.440.000							16,525.00		16,525.00
Contract Flooring	Prime and paint entire ceiling. Contract is T&M. Figured 1 man, 8 hours at \$52.04/hr from CP reports	02	09.910.000							416.32		416.32
Q&D	Supply 30x30 Access Panel. Supervision for 3 nights at \$80/hr.	2	09.250.000			281.24	1,920.00					2,201.24
												0.00
												0.00
												0.00
												0.00
Sub-Totals						281.24	1,920.00	0.00	0.00	18,152.63	0.00	20,353.87

1% G/L Ins 204.00
 Total 20,557.87
 15% markup 3,084.00
 Grand Total 23,641.87

[1] Internal Change Order: Not sent to the Owner for approval. Could impact Estimate and Contract.
 [2] Owner Change Order: Sent to the Owner for approval. Will impact Estimate & Contract.
 [3] Contract Item: Designates which item on your Owner Schedule of Values will be increased or decreased.
 [4] Phase Code: Designates which Phase Code in the budget will be increased or decreased.
 [5] Cost Types: Designates which Cost Type in the budget will be increased or decreased.

Stitser Drywall
3445 Airway Drive, Suite B, Reno, NV 89511
Phone: (775) 358-0363 Fax: (775) 358-1106

Bid Summary

Reno Auto Exit Lanes

Additional work for exit sign

Bid No. 8

Selected Sections: 09250 Drywall - Metal Stud Framing, 09251 Drywall - GWB Installation, 09252 Drywall - GWB Finishing

Selected Typical Areas:

Selected Areas: (unassigned)

Estimator: ST - Steve Talafuse

Job Class:

Wage Type: Union

Job Site: Reno Auto Exit Lanes, Reno, Nevada

Job Status: Pending

Bid Date/Time: 1/23/2024 12:00:00 PM

Plans Date: 1/23/2024

(unassigned)

No.	Condition	Height	Quantity	Total Price
1	Cut in for new access panel Access Panel to be supplied by others		1.00 EA	1,211.31
Material & Labor Total:				1,211.31
(unassigned) Total:				1,211.31



Proposal

For Work At

AIA BILLING - DO NOT INVOICE
 Q&D Construction LLC
 1050 S 21st St
 Sparks NV 89431-5596
 United States

Billing Address

AIA BILLING - DO NOT INVOICE
 Q&D Construction LLC
 1050 S 21st St
 Sparks NV 89431-5596
 United States

Account Executive

005618 Karen M Munson
 YESCO - Reno
 800 B Bennie Lane
 Reno NV 89512
 United States

Date	Project Number	Project Description	Pricing Valid Until	Deposit
04/03/2024	PRY-52729	RNO Auto Exit Lanes	05/03/2024	

Item	Amount
------	--------

Scope

YESCO to remove and dispose of (1) existing non-illuminated sign from the exit area at the departure escalator. Manufacture and install (1) Type B02 sign from the McCarthy Construction/RTIA drawings page W312 dated 6/3/22.

- *Engineering
- *Fabrication & installation
- *Materials
- *Mobilization
- *Equipment
- *Samples & submittals

Night work will be required to complete the removal of existing and installation of new. Q&D and YESCO to coordinate with RTIA for scheduling.

Prevailing Wage is Acknowledged

Nevada - Sign Sales

\$16,525.00

Clauses

* Contractor to bring to within 10' of the installation area (1) 5amp 120/277v circuit for YESCO to make final electrical connection.

*Customer to provide adequate access to site work
 If awarded this contract,

*YESCO reserves the right to review and negotiate contract terms. Terms and conditions are subject to change prior to final execution.

*This quote is based on standard installation practices. In the event installation process or access is hindered by unusual structural circumstances, extra expenses to complete the installation will be charged to the contractor at YESCO standard labor & material rates.

NV contractor's license 0074289 C-2, 0074290 C-6, 0075739 C-14 (Unlimited)

Subtotal	\$16,525.00
UseTax Total (%)	included
Total	\$16,525.00

This Proposal is subject to acceptance of YESCO's Standard Terms and Conditions, which are available for your review at www.yesco.com/terms/standardtermsandconditions.pdf. The proposed financing terms are only estimates. Final terms are subject to due diligence and formal credit approval by YESCO Financial Solutions.



Cart

Order Summary

Subtotal	\$281.24	Estimated Tax	N/A
----------	-----------------	---------------	------------

Estimated Total \$281.24



BABCOCK-DAVIS

Fire Rated Access Door: 30 in, 30 in, 30 1/4 in, 30 1/4 in, Insulated, Steel, Piano

Item # 402H12

Availability

Available for pickup **Wed. May 01** estimated after **10:00 AM**.

This item requires special shipping, additional charges may apply.

Qty
1

Web Price
\$281.24 / each

Products You Have Recently Viewed



BABCOCK-DAVIS

Fire Rated Access Door: 30 in, 30 in, 30 1/4 in, 30 1/4 in...

Item # 402H12

Web Price

\$281.24 / each

Qty
1

Add to Cart



BABCOCK-DAVIS

Access Door: 30 in, 30 in, 30 1/4 in, 30 1/4 in,...

Item # 402H79

Web Price

\$226.14 / each

Qty
1

Add to Cart



Q&D CONSTRUCTION
est. 1964

Q&D Construction
1050 S. 21st St.
Sparks, Nevada 89431
Phone: +17757862677

RFI #11

Project: 16705 - RNO Auto Exit Lanes
2001 E. Plumb Lane
Reno , Nevada 89502

"Do Not Enter" Sign Relocation/Mounting

TO: Jeffrey Purcell (Paul Cavin Architect LLC)	FROM: Johnathan Carrillo (Q&D Construction)
DATE INITIATED: 02/16/ 2024	STATUS: Open
LOCATION:	DUE DATE: 02/23/2024
COST CODE:	REFERENCE:
COST IMPACT: TBD	SCHEDULE IMPACT: TBD
DRAWING NUMBER: A-122 and A-521	SPEC SECTION:
LINKED DRAWINGS: A521	
RECEIVED FROM: Colt Waller (Q&D Construction)	
COPIES TO: Johnathan Carrillo (Q&D Construction), Sharon Groux (Q&D Construction), Jon Lau (Reno-Tahoe International Airport), Joe Mamola (CME, Inc), Daniel O'Neil (Q&D Construction), Lincoln Riley (CME, Inc), Colt Waller (Q&D Construction), Stacy Yokoyama (CME, Inc)	

Question from Johnathan Carrillo (Q&D Construction) at 02:36 PM on 02/16/2024

B4/A-122 and A-521 call for the relocation of the "Do Not Enter" Sign. It appears that it will be in the way of the sensors and alarms of the new door system. Confirm if location indicated on plans will not interfere with the Dormakaba system. If different location is required, provide location and all backing requirements.

Attachments:
[14ACF01B-780A-4D74-808E-DCA0F5F2C8A1.jpeg](#)

All Replies:
The attached RFI is issued to you for coordination and clarification purpose. Through the review of this RFI you find that it impacts your scope of work for both schedule and cost please notify Q&D Construction within five (5) business days from the distribution date of the RFI. If this RFI response is a change to your scope of work you are not authorized to proceed without a signed subcontract change order or written notification from Q&D Construction. We will consider this RFI answer no impact to cost and schedule if there is no response received after five (5) business days from the RFI distribution date.

Relocate the "Do Not Enter" signage per the attached revised architectural ceiling plan and notes.

Jeffrey Purcell
Paul Cavin Architect LLC
02.20.24

Disregard RFI-11 response dated 02.20.24. Remove and turn over the existing "Do Not Enter" signage to RTAA. Install new RTAA provided lighted directional signage at the 1st floor soffit at the bottom of the escalators as indicated on the attached drawings. Also remove existing exit sign on the Airside of corridor prior to entering the automated lanes since this is not a required egress exit path, see the attached drawings.

Jeffrey Purcell
Paul Cavin Architect LLC
03.12.24



Q&D
Q&D CONSTRUCTION
est. 1964

STORE FLAT

Reflected Ceiling Plan Notes

1. Contractor shall comply with IBC, local codes and manufacturers written instructions and recommendations for installation of lay-in ceiling.
2. See Project Manual and Specifications for additional information and requirements.
3. See Mechanical Drawings and Specifications for additional information and requirements.
4. See Electrical Drawings and Specifications for additional information and requirements.

**Paul Cavin
Architect LLC**

1575 Delucchi Lane, Suite 120
Reno, Nevada 89502

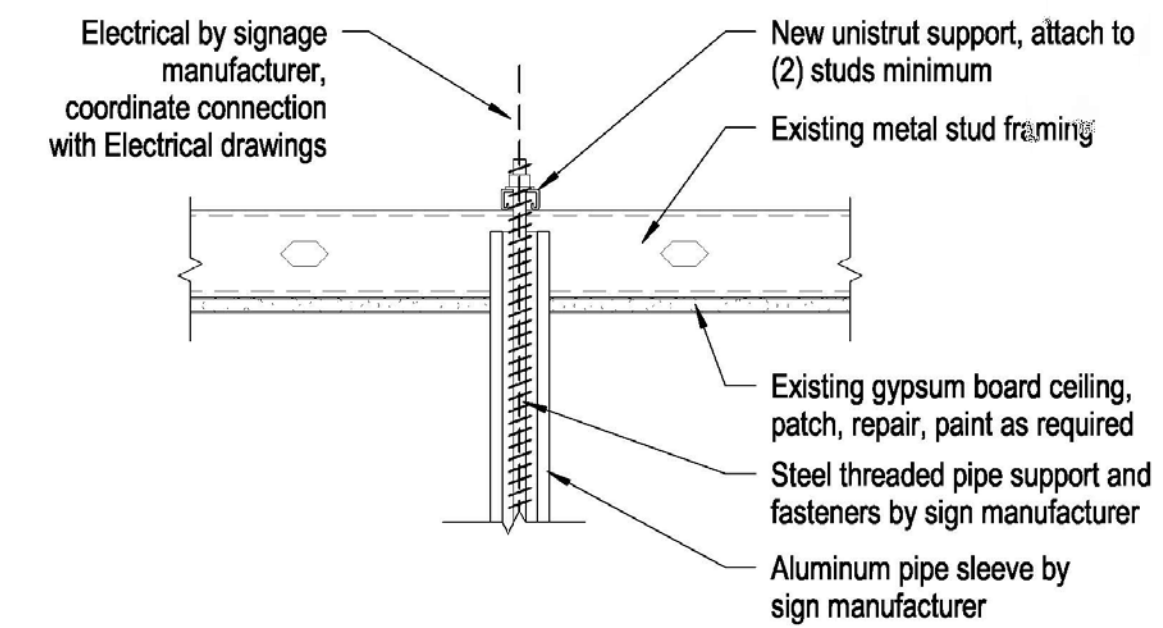
office: (775) 284-7083
mobile: (775) 842-0261

www.paulcavindesign.com
paul@paulcavindesign.com

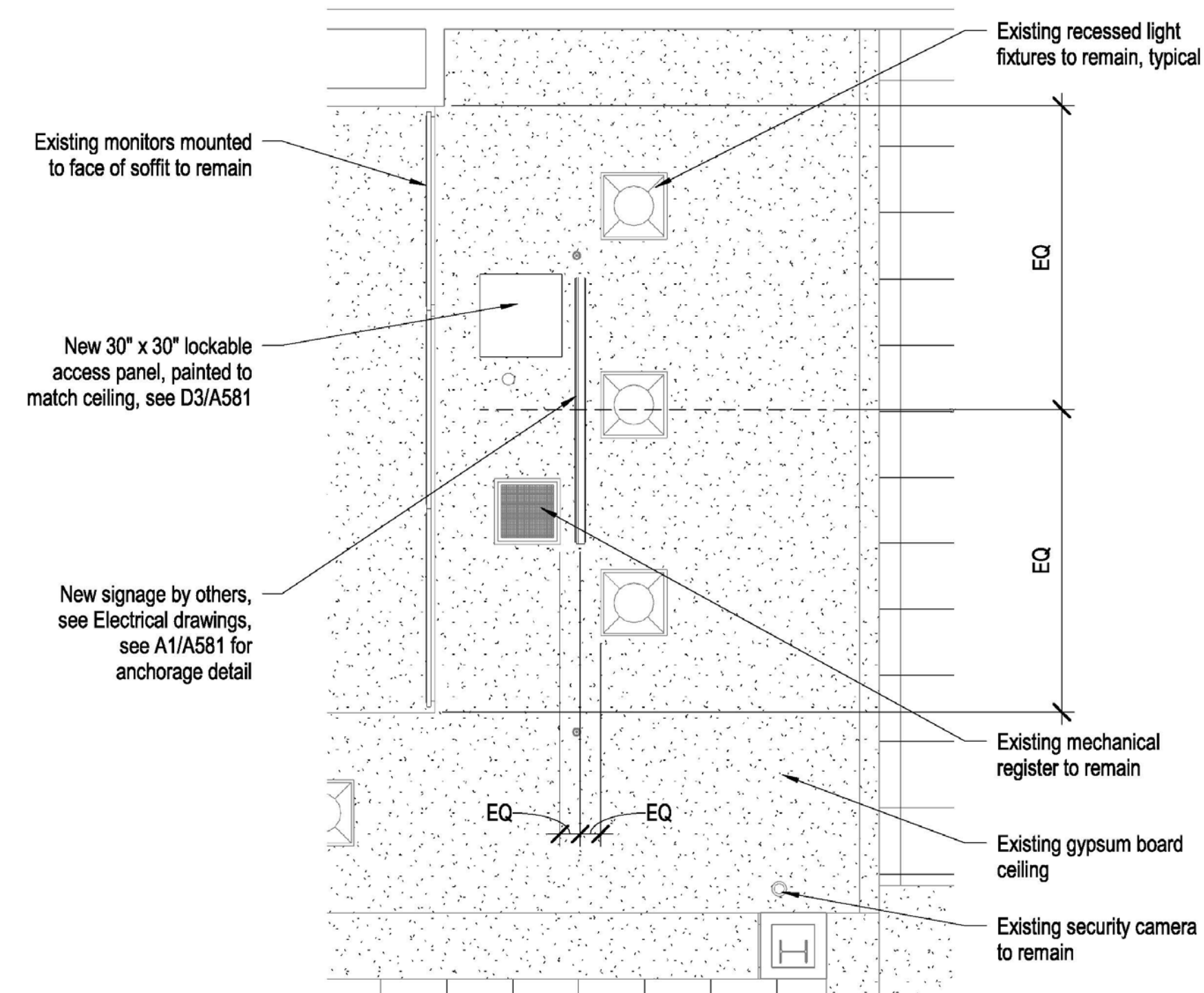
professional seal



consultant



B2 Signage Mounting Detail
1 1/2" = 1'-0"



D3 Alteration Ceiling 1st Floor
1/4" = 1'-0"



project

**Reno-Tahoe International Airport
Automated Exit Lanes
PWP # WA-2023-287**
Reno-Tahoe Airport Authority
2001 East Plumb Lane
Reno, Nevada 89502

revisions

No.	Description	Date
5	RFI #11	03/08/24

drawn by JAP/RBR

reviewed by PAC

date 7/10/23

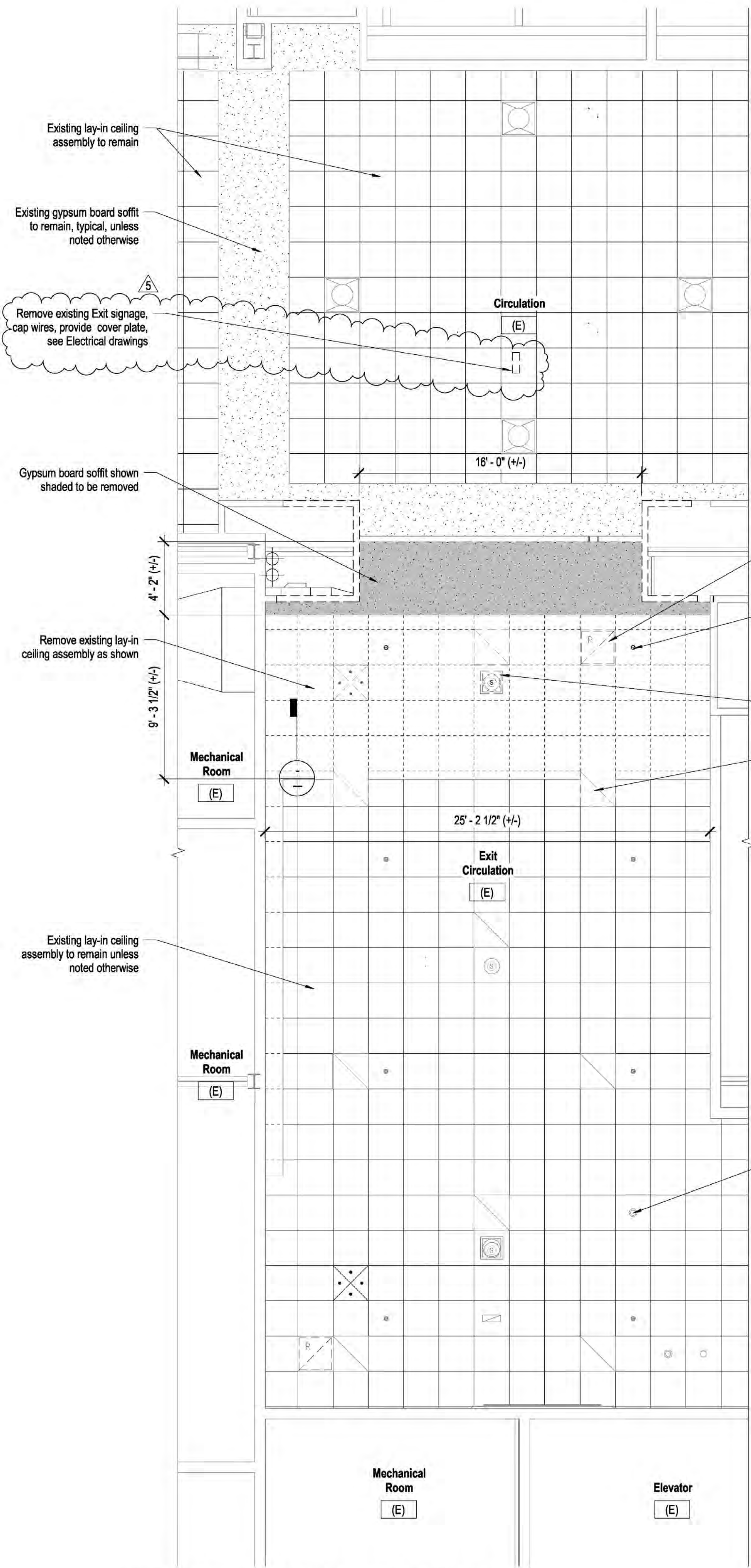
project number 22038

drawing name

**Partial Reflected
Ceiling Plans - 1st
Floor**

sheet number

A520



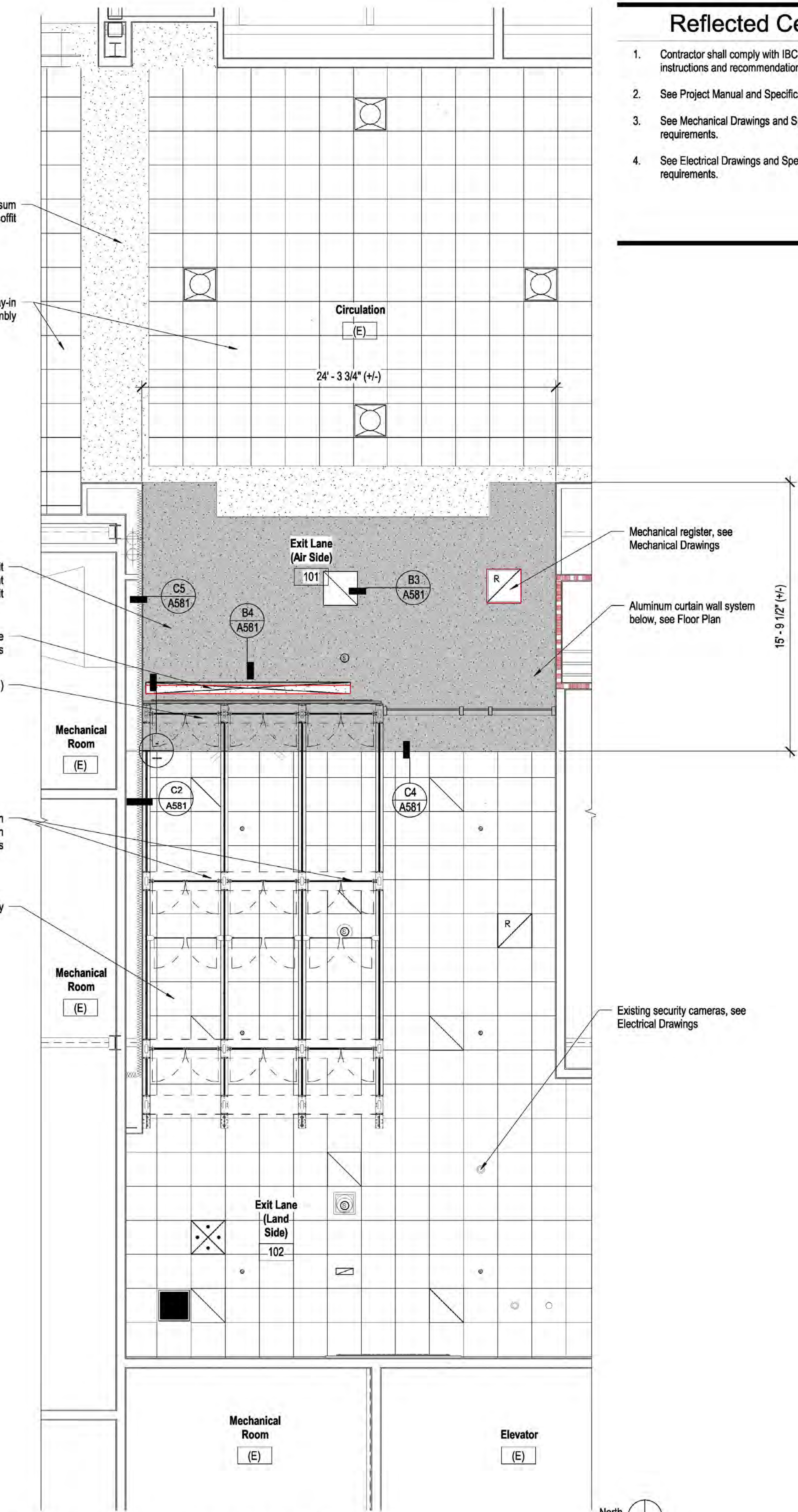
D5 Partial Demolition Reflected Ceiling Plan - 2nd Floor
1/4" = 1'-0"

Demolition Reflected Ceiling Notes

1. Coordinate construction operations, schedule, and sequencing with RTAA Project Manager. User will occupy the building and site during construction operations.
2. For purposes of Architectural work, all items not shown to be removed or altered on this sheet shall remain in existing condition. Notify the Architect of any components which vary from those shown on the drawings.
3. The Contractor is to protect adjacent surfaces from damage. The Contractor is to repair or replace all finishes that are damaged or removed due to the installation or removal of materials, fixtures, accessories, or construction noted on these drawings. Repaired or replaced finishes shall match adjacent finishes.
4. All dimensions are from face of stud to face of stud, unless noted otherwise.
5. The Contractor will be responsible for setting the exact limits of construction required in order to perform the work.
6. The Contractor shall maintain a clean environment during all constructions operations, and shall conduct a final cleaning of entire area of work at the conclusion of the project.
7. The Contractor shall protect existing finishes from construction traffic, cutting, and all construction activities.
8. See Project Manual and Specifications for additional information and requirements.
9. See Mechanical Drawings and Specifications for additional information and requirements.
10. See Electrical Drawings and Specifications for additional information and requirements.
11. Existing fire alarm system and fire suppression system to remain operational during construction.

- Relocate existing mechanical registers as required, see Mechanical Drawings
- Relocate existing fire sprinkler heads as required
- Relocate existing speaker as required, see Electrical Drawings
- Relocate existing light fixtures as required, see Electrical Drawings

Existing security cameras to remain unless noted otherwise, see Electrical Drawings



D3 Partial Alteration Reflected Ceiling Plan - 2nd Floor
1/4" = 1'-0"

Reflected Ceiling Plan Notes

1. Contractor shall comply with IBC, local codes and manufacturers written instructions and recommendations for installation of lay-in ceiling.
2. See Project Manual and Specifications for additional information and requirements.
3. See Mechanical Drawings and Specifications for additional information and requirements.
4. See Electrical Drawings and Specifications for additional information and requirements.

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consultant

project
**Reno-Tahoe International Airport
Automated Exit Lanes
PWP # WA-2023-287**
Reno-Tahoe Airport Authority
2001 East Plumb Lane
Reno, Nevada 89502

revisions

No.	Description	Date
5	RFI #11	03/08/24

drawn by JAP/RBR
reviewed by PAC
date 7/10/23
project number 22038
drawing name

**Partial Reflected
Ceiling Plans - 2nd
Floor**

sheet number

A521



GENERAL NOTES

- THIS DRAWING REPRESENTS THE EXISTING LIGHTING, POWER AND COMMUNICATIONS SYSTEMS WITHIN THE EXISTING BUILDING (AREA TO BE REMODELED). THE CONTRACTOR IS RESPONSIBLE FOR REMOVING, RELOCATING AND REWIRING ALL EQUIPMENT AS INDICATED ON THE DRAWINGS, INCLUDING EQUIPMENT THAT LIES WITHIN WALLS AND CEILINGS TO BE DEMOLISHED OR REMODELED.
- (X) AND/OR DASHED LINES INDICATE EXISTING EQUIPMENT TO BE REMOVED, (R) AND/OR DASHED LINES INDICATE EXISTING EQUIPMENT TO BE RELOCATED, (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT TO REMAIN UNLESS NOTED OTHERWISE.
- SALVAGEABLE ITEMS REMOVED DURING DEMOLITION SHALL BE OFFERED TO OWNER PRIOR TO DISPOSAL OR REMOVAL FROM SITE.
- EXISTING CIRCUITS AS INDICATED ARE BASED ON CASUAL FIELD OBSERVATION AND INFORMATION PER RECORD DRAWINGS AND SHALL BE FIELD VERIFIED BY ELECTRICAL CONTRACTOR PRIOR TO START OF DEMOLITION WORK.
- THE CONTRACTOR MAY SALVAGE AND REUSE EXISTING BOXES AND CONDUIT WHERE POSSIBLE. DAMAGED CONDUIT, FITTINGS BOXES, ETC. MAY NOT BE RE-USED. NEW CIRCUITING AS INDICATED ON THE DRAWINGS IS SHOWN FOR INTENT ONLY AND MAY VARY BASED ON ACTUAL FIELD CONDITIONS. NEW CIRCUITING SHALL MATCH EXISTING WHERE POSSIBLE TO UTILIZE EXISTING HOME-RUN CONDUITS, ETC.). KEEP AS-BUILT DRAWINGS CURRENT WITH ANY DEVIATION IN CIRCUITING FROM WHAT IS INDICATED WITHIN THESE PLANS.
- THE CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL DISCARDED AND ABANDONED MATERIALS LEFT OVER FROM DEMOLITION AND INSTALLATION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONDUIT, FASTENERS AND BOXES. MATERIALS EMBEDDED IN GRADE AND / OR CONCRETE MAY BE ABANDONED IN PLACE. ALL ABANDONED CONDUIT SHALL BE CAPPED.

SHEET NOTES

- D01 CONTRACTOR SHALL DISCONNECT AND STORE EXISTING LIGHT FIXTURE. MAINTAIN INTEGRITY OF EXISTING LIGHTING CIRCUIT FOR RECONNECTION UPON COMPLETION OF RENOVATION.
- D02 CONTRACTOR SHALL DISCONNECT AND RELOCATE EXISTING MANUAL ALARM DEVICE. COORDINATE WITH RTAA SECURITY DEPARTMENT PRIOR TO COMMENCING WORK.
- D03 MAKE ALL DISCONNECTIONS NECESSARY TO EXISTING ACCESS CONTROL CARD READER. MAINTAIN INTEGRITY AND STORE DEVICE FOR REUSE UPON COMPLETION OF RENOVATIONS. SEE NEW POWER AND SIGNAL PLAN E401 FOR ADDITIONAL INFORMATION.
- L02 CONTRACTOR SHALL DISCONNECT, CAP OFF CONDUCTORS AND REMOVE EXISTING EXIT FIXTURE. PROVIDE NEW BLANK TRIM PLATE AT CEILING TILE J-BOX. COORDINATE WITH RTAA FACILITIES PRIOR TO DEMOLITION.

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professional seal

consultant

PK Electrical, Inc.
Engineering Design Consulting
4605 DTIC Boulevard, Suite 102 | Denver, CO 80237 | 772.948.3390
pk@pk-electrical.com 22196



project

**Reno-Tahoe International Airport
Automated Exit Lanes**
Reno-Tahoe Airport Authority
2001 East Plumb Lane
Reno, Nevada 89502

revisions

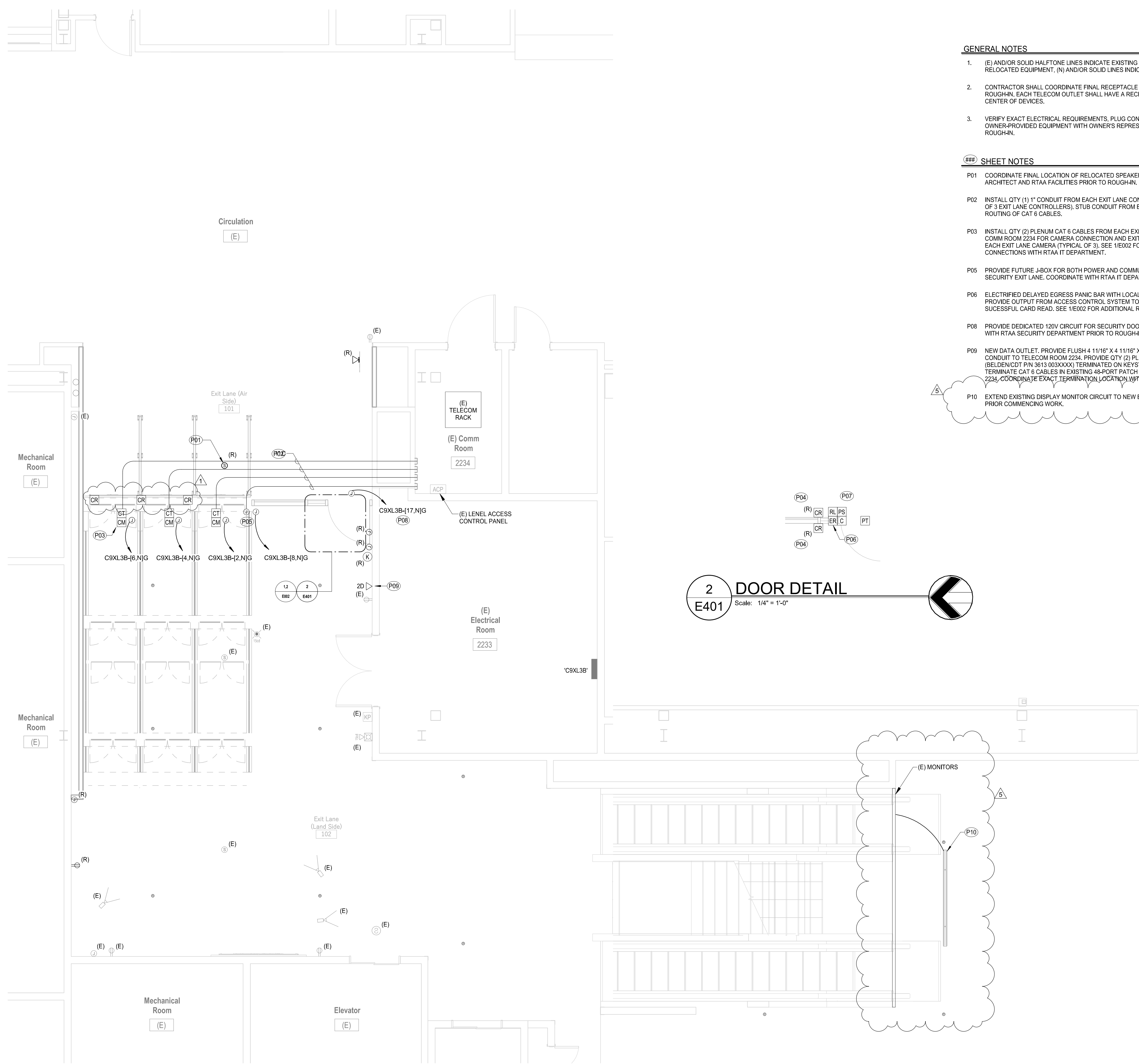
No.	Description	Date
5	RFI #11	03/11/24

drawn by SV
reviewed by DH
date 4/7/23
project number 22038
drawing name

**Electrical
Demolition Plan**

sheet number

E201



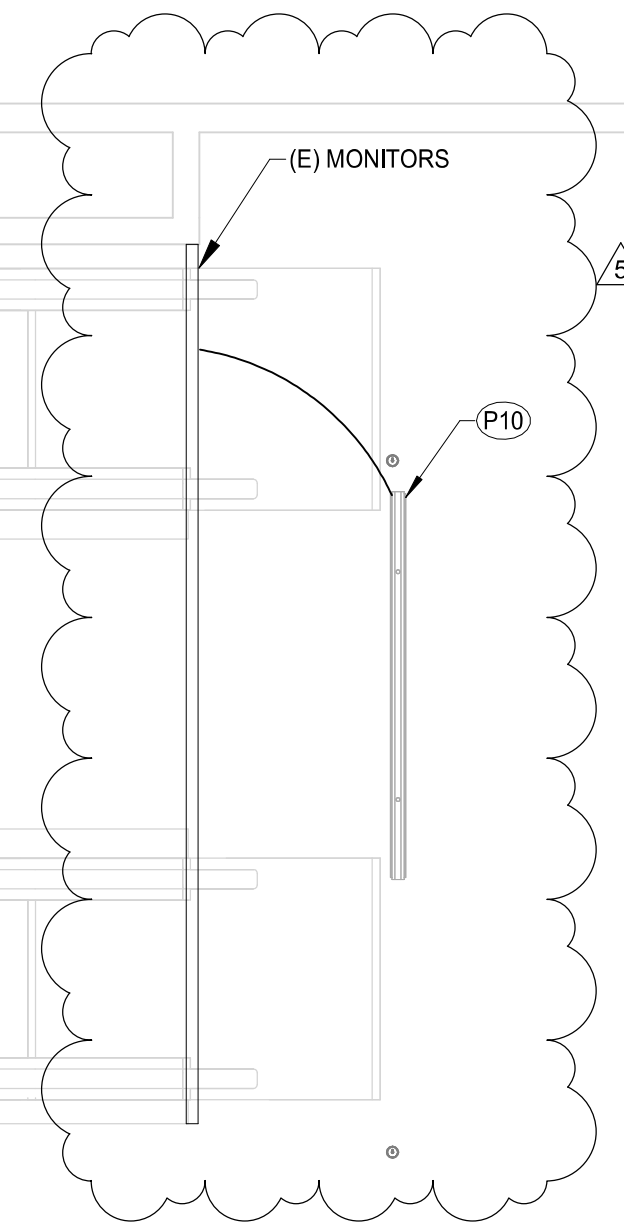
GENERAL NOTES

- (E) AND/OR SOLID HALFTONE LINES INDICATE EXISTING EQUIPMENT, (R) AND/OR DASHED LINES INDICATE RELOCATED EQUIPMENT, (N) AND/OR SOLID LINES INDICATE NEW EQUIPMENT UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE FINAL RECEPTACLE LOCATIONS WITH TELECOM OUTLETS PRIOR TO ROUGH-IN. EACH TELECOM OUTLET SHALL HAVE A RECEPTACLE LOCATED WITHIN 12", MEASURED FROM CENTER OF DEVICES.
- VERIFY EXACT ELECTRICAL REQUIREMENTS, PLUG CONFIGURATIONS, ETC., AND FINAL LOCATIONS OF OWNER-PROVIDED EQUIPMENT WITH OWNER'S REPRESENTATIVE PRIOR TO ORDERING OF MATERIALS AND ROUGH-IN.

SHEET NOTES

- P01 COORDINATE FINAL LOCATION OF RELOCATED SPEAKER WITHIN NEW GYPSUM BOARD CEILING WITH ARCHITECT AND RTAA FACILITIES PRIOR TO ROUGH-IN.
- P02 INSTALL QTY (1) 1" CONDUIT FROM EACH EXIT LANE CONTROLLER TO EXISTING TELECOM ROOM 2234 (TYPICAL OF 3 EXIT LANE CONTROLLERS). STUB CONDUIT FROM EACH CONTROLLER INTO TELECOM ROOM FOR ROUTING OF CAT 6 CABLES.
- P03 INSTALL QTY (2) PLENUM CAT 6 CABLES FROM EACH EXIT LANE CONTROLLER TO EXISTING TELECOM RACK IN COMM ROOM 2234 FOR CAMERA CONNECTION AND EXIT LANE CONTROL. PROVIDE CAMERA LICENSE FOR EACH EXIT LANE CAMERA (TYPICAL OF 3). SEE 1/E002 FOR ADDITIONAL REQUIREMENTS. COORDINATE FINAL CONNECTIONS WITH RTAA IT DEPARTMENT.
- P05 PROVIDE FUTURE J-BOX FOR BOTH POWER AND COMMUNICATION ABOVE CEILING FOR FUTURE FOURTH SECURITY EXIT LANE. COORDINATE WITH RTAA IT DEPARTMENT PRIOR TO ROUGH-IN.
- P06 ELECTRIFIED DELAYED EGRESS PANIC BAR WITH LOCAL ALARM SOUNDER AND REMOTE POWER SUPPLY. PROVIDE OUTPUT FROM ACCESS CONTROL SYSTEM TO POWER SUPPLY TO RETRACT LATCH AFTER SUCCESSFUL CARD READ. SEE 1/E002 FOR ADDITIONAL REQUIREMENTS.
- P08 PROVIDE DEDICATED 120V CIRCUIT FOR SECURITY DOOR ACCESS CONTROL CONNECTIONS. COORDINATE WITH RTAA SECURITY DEPARTMENT PRIOR TO ROUGH-IN.
- P09 NEW DATA OUTLET. PROVIDE FLUSH 4 1 1/8" X 4 1 1/8" X 2 1/2" DEEP BOX +18" WITH SINGLE GANG RING AND 1" CONDUIT TO TELECOM ROOM 2234. PROVIDE QTY (2) PLENUM CAT 6 CABLE DROPS. JACKET COLOR ORANGE (BELDEN/CDT P/N 3613 003XXXX) TERMINATED ON KEYSTONE CAT 6 JACKS (BELDEN/CDT P/N AX104189). TERMINATE CAT 6 CABLES IN EXISTING 48-PORT PATCH PANEL IN EXISTING 2-POST RACK IN TELECOM ROOM 2234. COORDINATE EXACT TERMINATION LOCATION WITH RTAA IT.
- P10 EXTEND EXISTING DISPLAY MONITOR CIRCUIT TO NEW ELECTRIC SIGN. COORDINATE WITH RTAA FACILITIES PRIOR COMMENCING WORK.

2 DOOR DETAIL
E401 Scale: 1/4" = 1'-0"



1 NEW POWER & SIGNAL PLAN
E401 Scale: 1/4" = 1'-0"

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professional seal

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PK Electrical, Inc.
Engineering Design Consulting
4605 DYE Boulevard, Suite 102 | Denver, CO 80231 | 773.940.3390
pk-electrical.com 22190



project

Reno-Tahoe International Airport Automated Exit Lanes
Reno-Tahoe Airport Authority
2001 East Plumb Lane
Reno, Nevada 89502

revisions

No.	Description	Date
1	Added Card Readers	11/16/23
5	RFI #11	03/11/24

drawn by SV
reviewed by DH
date 4/7/23
project number 22038
drawing name

New Power and Signal Plan

sheet number

E401



Q&D CONSTRUCTION
est. 1964

Q&D Construction
1050 S. 21st St.
Sparks, Nevada 89431
Phone: +17757862677

RFI #16

Project: 16705 - RNO Auto Exit Lanes
2001 E. Plumb Lane
Reno , Nevada 89502

"Not an Exit" Decal for Door #101

TO: Jeffrey Purcell (Paul Cavin Architect LLC)	FROM: Johnathan Carrillo (Q&D Construction)
DATE INITIATED: 03/27/ 2024	STATUS: Open
LOCATION:	DUE DATE: 04/03/2024
COST CODE:	REFERENCE:
COST IMPACT: TBD	SCHEDULE IMPACT: TBD
DRAWING NUMBER: A121	SPEC SECTION:
LINKED DRAWINGS: A121	
RECEIVED FROM: Jon Lau (Reno-Tahoe International Airport)	
COPIES TO: Johnathan Carrillo (Q&D Construction), Sharon Groux (Q&D Construction), Joe Mamola (CME, Inc), Daniel O'Neil (Q&D Construction), Lincoln Riley (CME, Inc), Colt Waller (Q&D Construction), Stacy Yokoyama (CME, Inc)	

Question from Johnathan Carrillo (Q&D Construction) at 09:14 AM on 03/27/2024

Per conversation with RTAA, they are requesting for a "NOT AN EXIT" decal to be placed on door #101. Please provide direction on the decal that will be required.

All Replies:

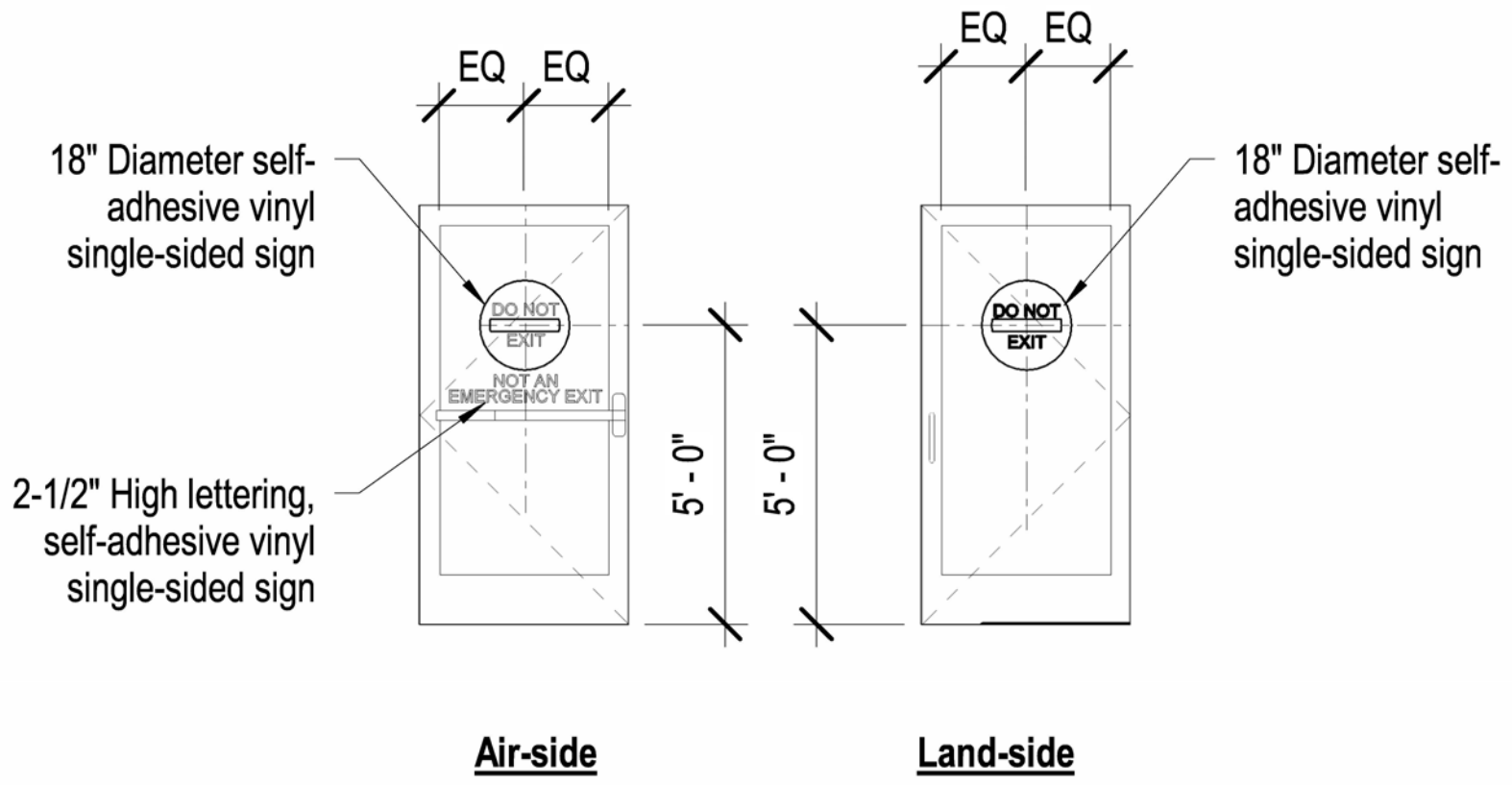
The attached RFI is issued to you for coordination and clarification purpose. Through the review of this RFI you find that it impacts your scope of work for both schedule and cost please notify Q&D Construction within five (5) business days from the distribution date of the RFI. If this RFI response is a change to your scope of work you are not authorized to proceed without a signed subcontract change order or written notification from Q&D Construction. We will consider this RFI answer no impact to cost and schedule if there is no response received after five (5) business days from the RFI distribution date.

Provide 18" Diameter self-adhesive vinyl decal, single-sided sign to each side of door as per the attached elevations. Sign verbiage and colors to be similar to attached sign image.

Provide self-adhesive vinyl lettering decal, single-sided, "NOT AN EMERGENCY EXIT" 2-1/2" high lettering on Air-side only, see attached elevations. Lettering shall be same red color as the sign above.

Jeffrey Purcell
Paul Cavin Architect LLC
03.28.24

BY _____ DATE _____ COPIES TO _____

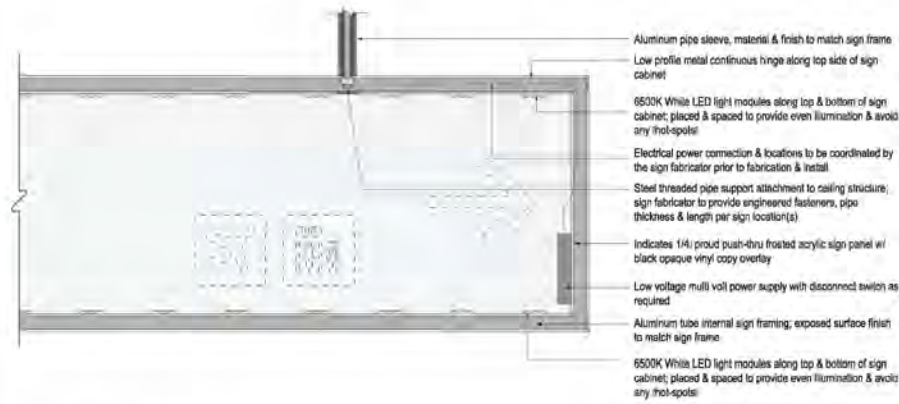




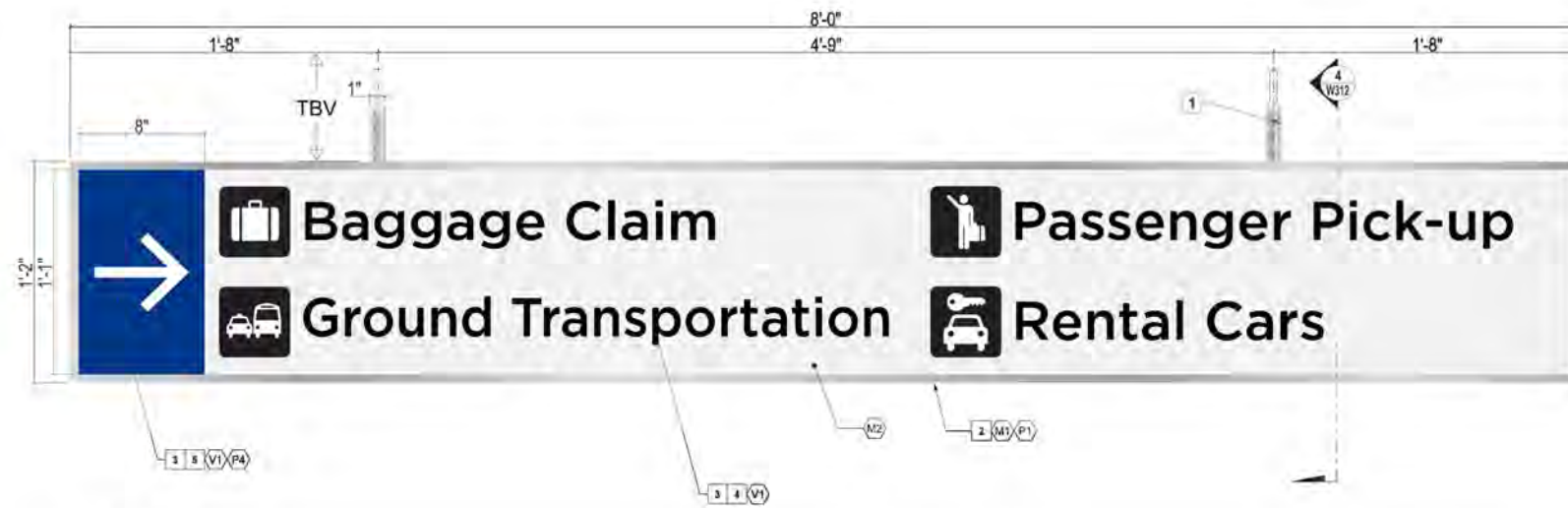
DO NOT



EXIT



3 Face Section Detail
 W312



1 Face View
 SCALE 1"=1'-0"
 W310

TYPICAL SIGN



2 End View
 SCALE 1"=1'-0"
 W312

B02 OVERHEAD DIRECTION - HANGING

NOTES:

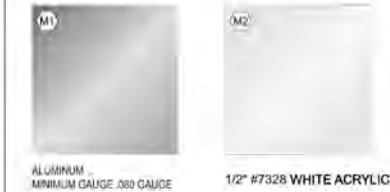
- 1. MOUNTING:** SUPPORTS FASTENED TO OVERHEAD STRUCTURE WITH THREADED RODS. RODS CLAD WITH FINISHED METAL SLEEVES (REFERENCE STRUCTURAL).
- 2. SIGN PANEL:** DOUBLE-SIDED, PAINTED ALUMINUM BACKER WITH PUSH THROUGH 1/4" THICK FROSTED ACRYLIC MESSAGE PANEL. INTERNAL ILLUMINATION THROUGH FACE WITH WHITE LED ARRAY.
- 3. MESSAGE:** VINYL COPY ON FIRST SURFACE OF ACRYLIC; V1, V2.
- 4. TYPE FACE:** GOTHAM MEDIUM.
- 5. ARROW FIELD:** PRINTED/PAINTED VINYL TO MATCH P4

4' PRIMARY WHIPS (120/208V)

COORDINATE THE LENGTH OF THE WHIP THE NEW POWER CONNECTION LOCATION

MATERIALS AND COLORS

MATERIALS



PAINT



VINYL



800-B Bonnie Lane
 Reno, NV 89512
 Office: 775.359.3131
 NV CONTRACTOR LICENSE NO. 0074289 / 0074290

Notice to the Customer

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Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications.

Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal.

Note: The proportion of signs shown on building and landscape area photos is an approximate representation.

CLIENT:

Q&D
 2001 E PLUMB LN
 ADDRESS:
 RENO, NV
 CITY:
 KAREN MUNSON
 ACCOUNT EXECUTIVE:

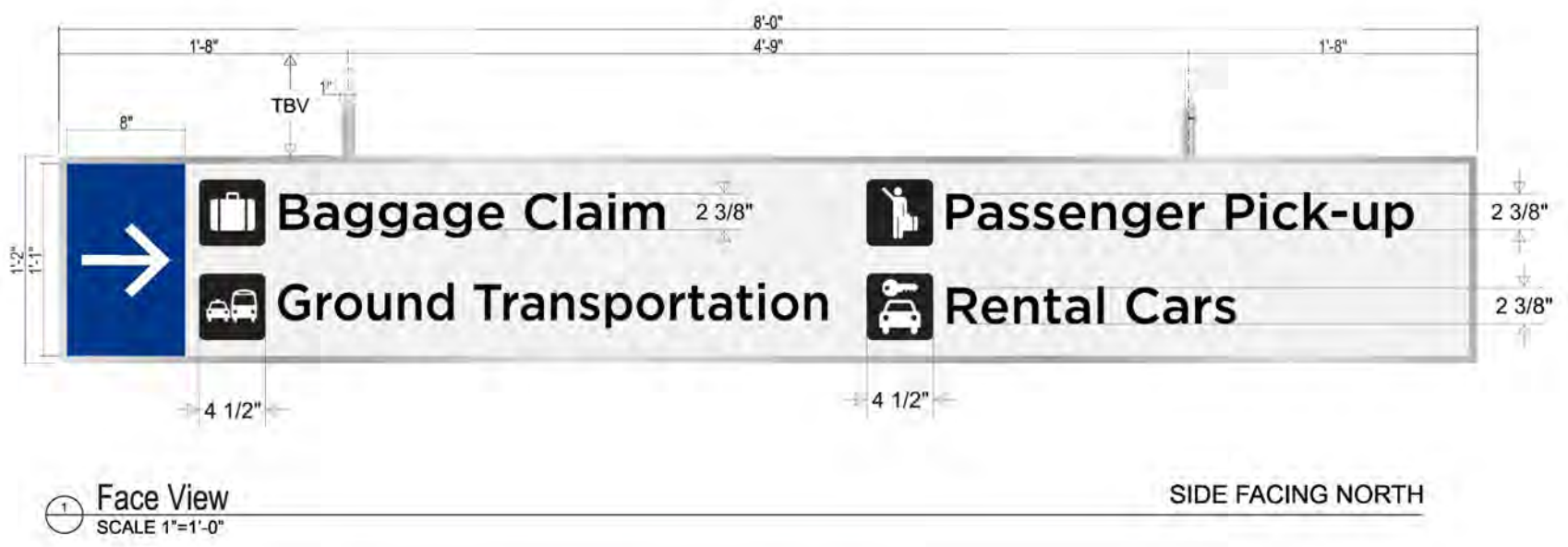
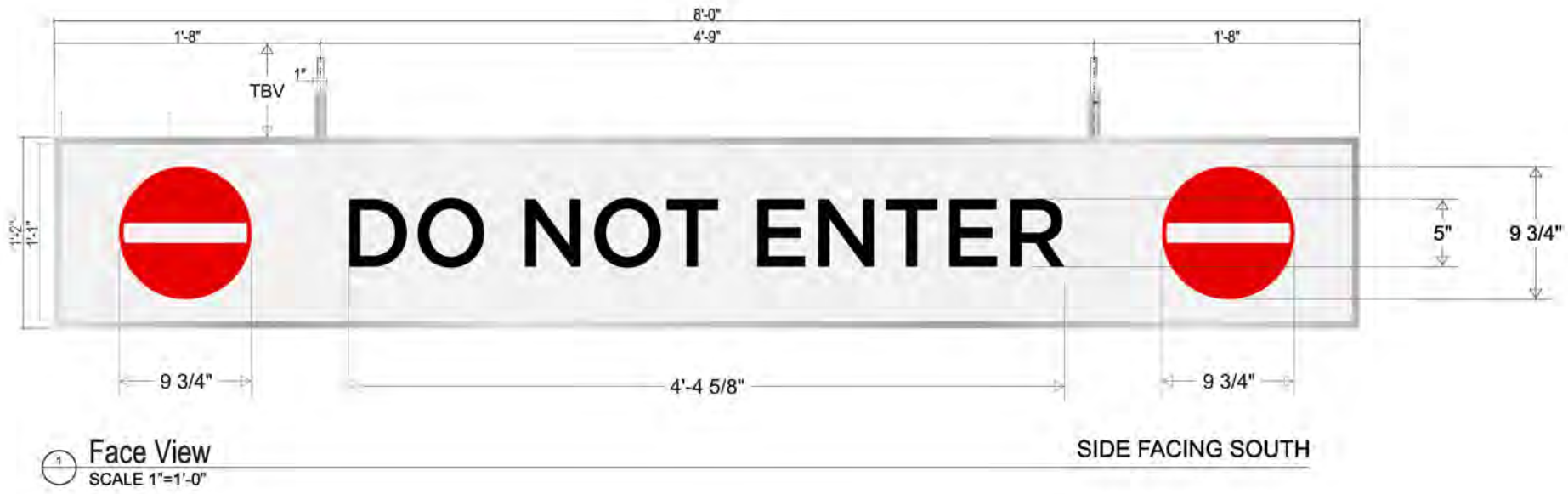
DESIGNER	DATE
JIM GRANDE	3/22/24
JIM GRANDE	4/2/24
JIM GRANDE	4/12/24

APPROVAL

CUSTOMER	DATE
DESIGN	DATE

DESIGN NUMBER
OPY-62852

JOB / PROJECT NUMBER



POWERED SIGN AT BOTTOM OF ARRIVAL ESCALATOR



800-B Bonnie Lane
Reno, NV 89512
Office: 775.359.3131
NV CONTRACTOR LICENSE NO.
0074289 / 0074290

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Note: The proportion of signs shown on building and landscape area photos is an approximate representation.

CLIENT:

Q&D
2001 E PLUMB LN
ADDRESS:
RENO, NV
CITY:
KAREN MUNSON
ACCOUNT EXECUTIVE:

DESIGNER	DATE
JIM GRANDE	3/22/24
JIM GRANDE	4/2/24
JIM GRANDE	4/12/24

APPROVAL

CUSTOMER	DATE
DESIGN	DATE

DESIGN NUMBER
OPY-62852

JOB / PROJECT NUMBER





Not required but my thought is to add the red circle with the dash symbol on either side of the text similar to the lighted sign above.

No resubmittal is required.

Jeffrey Purcell
Paul Cavin Architect LLC
04.19.24

VN-1 FIRST SURFACE VINYL
Scale: 1"=1'-0" **QUANTITY:3**

EXISTING STAIRS

SCOPE OF WORK

MANUFACTURE AND INSTALL (3) SETS OF FIRST SURFACE VINYL

SIGN SPECS

A VINYL	LAYER	1st SURFACE
	COLOR	7725-10 WHITE

GENERAL NOTES:

NOTE: **FIELD SURVEY REQUIRED BEFORE FABRICATION**

COLOR KEY

VINYL	3M - OPAQUE
COLOR	7725-10 WHITE

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS



800-B Bennie Lane
Reno, NV 89512
Office: 775.359.3131
NV CONTRACTOR LICENSE NO.
0074289 / 0074290

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Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications.

Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal.

Note: The proportion of signs shown on building and landscape area photos is an approximate representation.

CLIENT:

Q&D
2001 E PLUMB LN
ADDRESS:
RENO, NV
CITY:
KAREN MUNSON
ACCOUNT EXECUTIVE:

DESIGNER	DATE
JIM GRANDE	3/22/24
JIM GRANDE	4/2/24
JIM GRANDE	4/12/24

APPROVAL

CUSTOMER	DATE
DESIGN	DATE

DESIGN NUMBER
OPY-62852

JOB / PROJECT NUMBER



ART SUPERIMPOSED ON PHOTO - SHOWN AT APPROXIMATE RELATIVE SCALE



800-B Bonnie Lane
 Reno, NV 89512
 Office: 775.359.3131
 NV CONTRACTOR LICENSE NO.
 0074289 / 0074290

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Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications.

Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal.

Note: The proportion of signs shown on building and landscape area photos is an approximate representation.

CLIENT:	
Q&D	
2001 E PLUMB LN	
ADDRESS:	
RENO, NV	
CITY:	
KAREN MUNSON	
ACCOUNT EXECUTIVE:	
DESIGNER	DATE
JIM GRANDE	3/22/24
JIM GRANDE	4/2/24
JIM GRANDE	4/12/24

APPROVAL	
CUSTOMER	DATE
DESIGN	DATE

DESIGN NUMBER
 OPY-62852

JOB / PROJECT NUMBER

RENO-TAHOE AIRPORT AUTHORITY CONTINGENCY CHANGE ORDER



CCO No.

Contractor:

Project:

Solicitation Number:

Summary of Change and List of Attachments:

This Contingency Change Order sets forth the terms and conditions to provide labor, equipment, material, and full compensation to lower and reroute the pet relief area water line, relocate the irrigation line and boxes outside the new sidewalk along the base bid canopy, and removal of existing concrete at the south ticketing hall door.

The following will be added to the Base Bid Schedule of Values for the following items of work

CCO No. 07-01 Reroute and Lower Pet Relief Area Water Line & Landscaping	\$	2,358.32
CCO No. 07-02 Remove Concrete at South Ticketing Hall Door	\$	1,558.30
Total amount approved for all changes referenced	\$	3,916.62

These changes are to be funded with PFC 15.

Enclosures: Q&D Construction Change Order Request No. 016 - Dated 2/20/2024

Contingency Change Order Summary:

Contract Contingency Total:	\$	<input type="text" value="900,000.00"/>
Total Previously Approved:	\$	<input type="text" value="556,171.56"/>
Total Change this Authorization:	\$	<input type="text" value="3,916.62"/> ADD
Remaining Contingency Balance:	\$	<input type="text" value="339,911.82"/>

Change in Contract Times:

Original Duration:	<input type="text" value="579"/>
Previous Authorization:	<input type="text" value="41"/>
This Authorization:	<input type="text" value="0"/>
Revised Contract Time:	<input type="text" value="620"/>

Contract Summary:

Original Contract:	\$	<input type="text" value="9,683,268.00"/>
Total Previously Approved CO's	\$	<input type="text" value="1,877,000.00"/>
Total Previously Approved CCO's	\$	<input type="text" value="556,171.56"/>
Contract Sum Prior to this CCO	\$	<input type="text" value="12,116,439.56"/>
Total Change this Authorization:	\$	<input type="text" value="3,916.62"/>
New Contract Sum:	\$	<input type="text" value="12,120,356.18"/>

Contractor Signature  Date:

Q&D Construction, Jeff Bean

Project Mgr Signature _____ Date: _____

RTAA Project Mgr: Jon Lau

Construction Mgr Signature  Date:

CME, Construction Manager: Joe Mamola

Manager Signature _____ Date: _____

RTAA Mgr Engineering & Construction: Jackie Borman

CHANGE ORDER

Distribution to:
 RTAA PURCHASING
 PM/CM
 ENGINEER
 CONTRACTOR
 FAA

Reno-Tahoe Airport Authority
 Reno-Tahoe International Airport
 Reno-Stead Airport
 Box 12490
 Reno, NV 89510



Project: Terminal Loop Road Reconstruction Project

Change Order Number 04

To: Q&D Construction, LLC
 1050 S 21st Street
 Sparks, NV 89431

Change Order Initiation Date: September 14, 2023
 AIP No. 3-32-0017-117-2023
 Contract Date: April 13, 2023

This Change Order is issued as full compensation for the increased material costs to meet the requirements of Article 9, Section 9.13 FAA Buy American Preference of the contract as federal funding for the Base Bid and Alternates 1 through 4 canopies was received after award of the contract.

The following item shall be added to the Schedule of Values:
 CO No. 04 - Buy American Preference Material Costs - \$38,357.10

This change is to be funded with Community Project Funding – AIP No. 3-32-0017-117-2023.

All other terms, conditions, and requirements of the contract not modified herein remain unchanged.

Not valid until signed by ALL parties. Execution of this Change Order by both Owner and Contractor constitutes a binding agreement and serves as a full accord and satisfaction of any claim, demand, lien, stop notice or further request for compensation, past or present, known or unknown, and/or time extension arising out of or by virtue of the work described above in the Change Order. Contractor's signature indicates agreement herewith, including any adjustments in the Contract Sum or Contract Time.

The Original Contract Sum was.....	\$9,683,268.00
Net Changes by Previously Authorized Change Orders	\$1,877,000.00
Net Changes by Previously Authorized Contingency Change Orders.....	\$560,088.18
The Revised Contract Sum Prior to this Change Order was	\$12,120,356.18
The Contract Sum will be changed by this Change Order.....	\$38,357.10
The new Contract Sum, including this Change Order will be.....	\$12,158,713.28
The Contract Time will not be changed as part of this Change Order.	

Authorized

<u>Construction Materials Engineers</u>	<u>Kimley-Horn and Associates</u>	<u>Q&D Construction, LLC.</u>	<u>Reno-Tahoe Airport Authority</u>
Construction Manager	Engineer/Architect	Contractor	Owner
<u>300 Sierra Manor Dr, Ste 1</u>	<u>7900 Rancharrah Pkwy, Ste 100</u>	<u>1050 S 21st Street</u>	<u>P.O. Box 12490</u>
<u>Reno, NV 89511</u>	<u>Reno, NV 89511</u>	<u>Sparks, NV 89431</u>	<u>Reno, NV 89510</u>
			
By: Joe Mamola	By: Christian Heinbaugh	By: Jeff Bean	By: Jackie Borman
<u>April 9, 2024</u>	<u>2024.04.08</u>	<u>4/9/24</u>	
Date	Date	Date	Date

Enclosure: Q&D Construction Change Order Request No. 04 dated 3/13/2024



Q&D CONSTRUCTION
est. 1964

CHANGE ORDER REQUEST

CO No. 004

Project No.: 16571 – RTIA Terminal Loop Road Project

Date: 3/13/2024

To: Jon Lau
Reno-Tahoe Airport Authority
2001 E Plumb Lane
Reno, NV 89502

From: Braden Riley
Q&D Construction LLC
PO Box 10865
Reno, NV 89510

Phone: 775-328-6462

Phone: 775-786-2677

Fax:

Fax: 775-786-5136

Email: jlau@renoairport.com

Email: briley@qdconstruction.com

cc: Joe Mamola (CME), Marc Leone (Q&D)

Below is the detail for our proposal to complete the following changes in contract work:

- Change Order Request: CO#004 – Buy America Preference Material Cost Increases
 - Proposed Scope of Work: Change order is for material increases to meet the Buy America/BABA requirements.

CO Item Sub-Totals	Quantity	Units	Unit Price	Amount
Buy America Preference Material Costs	1	LSU	\$38,357.10	\$38,357.10

CO Item Totals	Change (in Days)	Amount
CO#004 - Buy America Preference Material Costs	0	\$38,357.10

Submitted By:

Braden Riley

3/13/2024

Date

Approved By:

Reno-Tahoe Airport Authority

Date



RENO IRON WORKS
 333 E. Parr Blvd.
 Reno, NV 89512
 Phone: (775) 329-1111
 FAX: (775) 329-3555

PURCHASE ORDER #28224 - 3012

This order number must appear on all invoices, shipping papers, packages, etc.

AIRPORT LOOP

VENDOR:				SHIP TO:			
PDM				PARR			
PAULINE							
Date	Date Required:	PER ROUTE SCHEDULE UNO	Terms	FOB	Ship Via		
1/2/24							
Qty	Description			Unit	Ext		
1	TS 20 x 12 x 5/8 x 48'			A500 204.60/F	9821		
6	TS 20 x 12 x 5/8 x 48'			A500 296.96/F	14,256	✓	
<p>NOTE: ALL MATERIAL MUST BE MADE IN USA PER THE "BUY AMERICA" ACT.</p>							
<p>EST - 204/A - \$9792 / 58,746 Additional Cost to get actual 85536 all material from Domestic Supply 204-297 93/A x 48 x 6</p>							
<p>\$26,790 Sales Tax 8.265% 2214 29004 15% O&D PROFIT 4350 TOTAL Δ 33354</p>							

Certificate of Compliance Required
 Material Test Reports Required



ERIC

Authorized By

+ Q&D Mark-up 15% = \$38,357.10



ORIGINAL INVOICE

PLEASE
REMIT TO:

PO BOX 740973, LOS ANGELES, CA 90074-0973

PAGE 1

SOLD TO:

G.P. INDUSTRIES DBA
RENO IRON WORKS
333 E. PARR BLVD.
RENO NV 89512-0500

ENTERED

SHIPPED TO:

G.P. INDUSTRIES DBA
RENO IRON WORKS
333 E. PARR BLVD.
RENO NV 89512-0500

Emailed Copy

CUSTOMER NO.	DATE SHIPPED	CUSTOMER ORDER NUMBER	SHIPPED VIA	F.O.B.	INVOICE DATE	INVOICE NUMBER
78-806351	1/09/24	28224-3012	OUR TRUCK	DESTINATION	1/09/24	533376-01
LINE	DESCRIPTION	SHIPPED	UM	WEIGHT	PRICE	AMOUNT

1 SHIP ON ARRIVAL
**

2	20 X 12 X .625 HS TUBING - 48 A500B** ICB PO#SP5064 4 EA of Heat# 23134471 2 EA of Heat# 23103091	6 EA	36682.560	232.50	85286.95
				PER CW	

Fuel Surcharge		36682.560	.65	238.44
			per CW	

Please send your checks to PDM Steel Service Centers, Inc.
PO Box 740973, Los Angeles, CA 90074-0973 and include account# on check.

TERMS NET 30 DAYS OR DEDUCT IF PAID BY	TOTAL WEIGHT	SUB-TOTAL	SALES TAX PERCENT AMOUNT	FINAL TOTAL
426.43 1/19/24	36683	85525.39	.00	85525.39

Steel Service - when and where you need it!

Attention: Accounts Payable

Please pay from this invoice.
No other will be mailed.

From: Credit Dept. (775) 358-1441 Fax: (775) 355-1443
Heather.Matheus@PDMSteel.com
Contact: Eric Amundsen

01/10/24 23:13

From: Braden Riley <briley@qdconstruction.com>
Sent: Thursday, March 14, 2024 9:40 AM
To: Joe Mamola <jmamola@cmenv.com>
Subject: FW: CCO#003 - Buy America Preference Material Costs



Braden Riley | Project Engineer
Q&D Construction LLC
C: (775) 302-6552
briley@qdconstruction.com
NVCL #8197 A&B CACL # 427988BA CA DIR # 1000061144
SERVICE. INTEGRITY. QUALITY.
[Please see Q&D's Specialty Services Brochure](#)

From: Keith <keith@renoironworks.com>
Sent: Wednesday, March 13, 2024 10:24 AM
To: Braden Riley <briley@qdconstruction.com>
Cc: Marc Leone <mleone@qdconstruction.com>; Ralph <ralph@renoironworks.com>; Arnel <Arnel@renoironworks.com>
Subject: RE: CCO#003 - Buy America Preference Material Costs

Keith Lake | Chief Estimator | Reno Iron Works
Address: 333 E Parr Blvd Reno, NV 89512
Mobile: 720-891-5550 | Email: Keith@renoironworks.com

From: Braden Riley <briley@qdconstruction.com>
Sent: Tuesday, March 5, 2024 11:21 AM
To: Keith <keith@renoironworks.com>
Cc: Marc Leone <mleone@qdconstruction.com>; Ralph <ralph@renoironworks.com>; Arnel <Arnel@renoironworks.com>
Subject: RE: CCO#003 - Buy America Preference Material Costs

Keith,

Do you have the cost comparison of what the price difference is for meeting buy America requirements (i.e. original cost for materials figured not requiring buy America requirements)? This looks to be only the invoice total for buy America materials. The airport is going to need that as back-up to approve the change order for any additional cost incurred to meet those requirements.

Thank you,



Braden Riley | Project Engineer

Q&D Construction LLC

C: (775) 302-6552

briley@qdconstruction.com

NVCL #8197 A&B CACL # 427988BA CA DIR # 1000061144

SERVICE. INTEGRITY. QUALITY.

From: Keith <keith@renoironworks.com>

Sent: Monday, January 29, 2024 1:32 PM

To: Braden Riley <briley@qdconstruction.com>

Cc: Marc Leone <mleone@qdconstruction.com>; Ralph <ralph@renoironworks.com>; Arnel <Arnel@renoironworks.com>

Subject: RE: CCO#003 - Buy America Preference Material Costs

Braden,

Attached is the breakout of material increases to "Buy America"

Please let me know if you have any questions.

Regards,

Keith Lake | Chief Estimator | Reno Iron Works

Address: 333 E Parr Blvd Reno, NV 89512

Mobile: 720-891-5550 | Email: Keith@renoironworks.com

From: Braden Riley <briley@qdconstruction.com>

Sent: Monday, January 22, 2024 10:46 AM

To: Arnel <Arnel@renoironworks.com>; Keith <keith@renoironworks.com>

Cc: Marc Leone <mleone@qdconstruction.com>; Ralph <ralph@renoironworks.com>; Eric <eric@renoironworks.com>; Paul <Accounting@renoironworks.com>

Subject: RE: CCO#003 - Buy America Preference Material Costs

Keith,

Just following up on this. The airport requires back-up for material increases as they have to provide information to the FAA to be reimbursed with the FAA funding. Let me know if you have any questions.

Thank you,



Braden Riley | Project Engineer

Q&D Construction LLC

C: (775) 302-6552

briley@qdconstruction.com

NVCL #8197 A&B CACL # 427988BA CA DIR # 1000061144

SERVICE. INTEGRITY. QUALITY.

From: Joe Mamola <jmamola@cmenv.com>
Sent: Wednesday, December 20, 2023 9:31 AM
To: Braden Riley <briley@qdconstruction.com>; Arnel <Arnel@renoironworks.com>; Keith <keith@renoironworks.com>
Cc: Marc Leone <mleone@qdconstruction.com>; Ralph <ralph@renoironworks.com>; Eric <eric@renoironworks.com>; Paul <Accounting@renoironworks.com>
Subject: RE: CCO#003 - Buy America Preference Material Costs

Braden,

You are correct, we need backup for the increased cost.

Thanks,

Joe Mamola
Project Manager



300 Sierra Manor Drive, Suite 1
Reno, NV 89511

jmamola@cmenv.com
Direct: 775-737-7579
Cell: 775-745-6996
www.cmenv.com

From: Braden Riley <briley@qdconstruction.com>
Sent: Wednesday, December 20, 2023 9:25 AM
To: Arnel <Arnel@renoironworks.com>; Keith <keith@renoironworks.com>
Cc: Marc Leone <mleone@qdconstruction.com>; Ralph <ralph@renoironworks.com>; Eric <eric@renoironworks.com>; Paul <Accounting@renoironworks.com>; Joe Mamola <jmamola@cmenv.com>
Subject: RE: CCO#003 - Buy America Preference Material Costs

Arnel,

I believe the airport is looking for a difference in the cost from original bid to the buy American for the steel (i.e. quoted amount for steel in original bid vs. quoted amount for steel to meet the buy American requirements). I included what you had attached with the change order originally. Joe, I added you in on this to make sure this is what is requested. Let me know if you have any questions.

Thank you,



Braden Riley | Project Engineer

Q&D Construction LLC

C: (775) 302-6552

briley@qdconstruction.com

NVCL #8197 A&B CACL # 427988BA CA DIR # 1000061144

SERVICE. INTEGRITY. QUALITY.

From: Arnel <Arnel@renoironworks.com>
Sent: Wednesday, December 20, 2023 9:12 AM
To: Braden Riley <briley@qdconstruction.com>; Keith <keith@renoironworks.com>
Cc: Marc Leone <mleone@qdconstruction.com>; Ralph <ralph@renoironworks.com>; Eric <eric@renoironworks.com>; Paul <Accounting@renoironworks.com>
Subject: RE: CCO#003 - Buy America Preference Material Costs

Braden,

I check with our team, refer to the letter we sent to Q and D for a total quote of \$70,675 for the Base bid and the 5 Alternates last April 2023. The price is still valid.

Please promptly send an approved change order. As we have proceeded to purchase raw material to suit the Buy American requirement.

Regards,

Arnel Chua P.E.
Senior Project Manager
Reno Iron Works
Tel.(775)-329-1111
Fax.(775)-329-1000
Cell.(925)-872-1016

From: Braden Riley [<mailto:briley@qdconstruction.com>]
Sent: Tuesday, December 19, 2023 1:25 PM
To: Keith <keith@renoironworks.com>; Arnel <Arnel@renoironworks.com>
Cc: Marc Leone <mleone@qdconstruction.com>
Subject: RE: CCO#003 - Buy America Preference Material Costs

Keith/Arnel,

Just wanted to follow up on the back up for the material cost increases for the Buy-America change order. Could you let me know the status of this? Let me know if you have any questions.

Thank you,



Braden Riley | Project Engineer
Q&D Construction LLC
C: (775) 302-6552
briley@qdconstruction.com
NVCL #8197 A&B CACL # 427988BA CA DIR # 1000061144
SERVICE. INTEGRITY. QUALITY.

From: Braden Riley
Sent: Wednesday, November 22, 2023 10:15 AM
To: 'Keith' <keith@renoironworks.com>; Arnel <Arnel@renoironworks.com>
Cc: Marc Leone <mleone@qdconstruction.com>
Subject: FW: CCO#003 - Buy America Preference Material Costs

Keith/Arnel,

Could you provide back-up per request below on the Buy-America material increases?

Thank you,



Braden Riley | Project Engineer
Q&D Construction LLC
C: (775) 302-6552
briley@qdconstruction.com
NVCL #8197 A&B CACL # 427988BA CA DIR # 1000061144
SERVICE. INTEGRITY. QUALITY.

From: Joe Mamola <jmamola@cmenv.com>
Sent: Wednesday, November 22, 2023 10:14 AM
To: Braden Riley <briley@qdconstruction.com>
Cc: Marc Leone <mleone@qdconstruction.com>; Lau, Jon <jlau@renoairport.com>; Stacy Yokoyama <syokoyama@cmenv.com>
Subject: RE: CCO#003 - Buy America Preference Material Costs

Braden,

Can you please have RIW provide additional backup? Quotes from their steel supplier showing the cost difference between non-domestic and domestic steel will suffice.

Thanks!

Joe Mamola
Project Manager



300 Sierra Manor Drive, Suite 1
Reno, NV 89511

jmamola@cmenv.com
Direct: 775-737-7579
Cell: 775-745-6996
www.cmenv.com

From: Braden Riley <briley@qdconstruction.com>

Sent: Tuesday, November 21, 2023 5:01 PM

To: Joe Mamola <jmamola@cmenv.com>; Lau, Jon <jlau@renoairport.com>; Stacy Yokoyama <syokoyama@cmenv.com>

Cc: Marc Leone <mleone@qdconstruction.com>

Subject: CCO#003 - Buy America Preference Material Costs

Joe,

Please see attached buy America preference material cost change order. Let me know if you have any questions.

Thank you,



Braden Riley | Project Engineer

Q&D Construction LLC

C: (775) 302-6552

briley@qdconstruction.com

NVCL #8197 A&B CACL # 427988BA CA DIR # 1000061144

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RENO-TAHOE AIRPORT AUTHORITY CONTINGENCY CHANGE ORDER



CCO No.

Contractor:

Project:

Solicitation Number:

Summary of Change and List of Attachments:

This Contingency Change Order set forth the terms and conditions to provide labor, equipment, material, and full compensation to remove a section of an existing abandoned storm drain at STA 20+75 to tie into the conduit stub ran out of Ticketing Hall and for the re-alignment of an existing storm drain around the base bid canopy per the response to RFI No. 22.

The following will be added to the Base Bid Schedule of Values for the following items of work

CCO No. 08-01 T&M- Abandoned Storm Drain Removal	\$	1,337.71
CCO No. 08-02 Re-Align Storm Drain around Canopy Pier	\$	11,147.61
Total amount approved for all changes referenced	\$	12,485.32

These changes are to be funded with PFC 15.

Enclosures: Q&D Construction Change Order Request No. 019 - Dated 3/26/2024
RFI No. 22- SDMH STA14+65.65 Existing SD pipe tie-in

Contingency Change Order Summary:

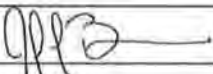
Change in Contract Times:

Contract Contingency Total:	\$	<input type="text" value="900,000.00"/>	
Total Previously Approved:	\$	<input type="text" value="560,088.18"/>	
Total Change this Authorization:	\$	<input type="text" value="12,485.32"/>	ADD
Remaining Contingency Balance:	\$	<input type="text" value="327,426.50"/>	

Original Duration:	<input type="text" value="579"/>
Previous Authorization:	<input type="text" value="41"/>
This Authorization:	<input type="text" value="0"/>
Revised Contract Time:	<input type="text" value="620"/>

Contract Summary:

Original Contract:	\$	<input type="text" value="9,683,268.00"/>
Total Previously Approved CO's	\$	<input type="text" value="1,915,357.10"/>
Total Previously Approved CCO's	\$	<input type="text" value="560,088.18"/>
Contract Sum Prior to this CCO	\$	<input type="text" value="12,158,713.28"/>
Total Change this Authorization:	\$	<input type="text" value="12,485.32"/>
New Contract Sum:	\$	<input type="text" value="12,171,198.60"/>

Contractor Signature  Date: 4-15-2024

Project Mgr Signature _____ Date: _____

Q&D Construction, Jeff Bean

RTAA Project Mgr: Jon Lau

Construction Mgr Signature  Date: April 12, 2024

Manager Signature _____ Date: _____

CME, Construction Manager: Joe Mamola

RTAA Mgr Engineering & Construction: Jackie Borman



CHANGE ORDER REQUEST

CCO No. 019

Project No.: 16571 – RTIA Terminal Loop Road Project

Date: 3/26/2024

To: Jon Lau
 Reno-Tahoe Airport Authority
 2001 E Plumb Lane
 Reno, NV 89502

From: Braden Riley
 Q&D Construction LLC
 PO Box 10865
 Reno, NV 89510

Phone: 775-328-6462

Phone: 775-786-2677

Fax:

Fax: 775-786-5136

Email: jlau@renoairport.com

Email: briley@qdconstruction.com

cc: Joe Mamola (CME), Marc Leone (Q&D)

Below is the detail for our proposal to complete the following changes in contract work:

- Change Order Request: CCO#019 – Misc Utility Conflicts
 - Proposed Scope of Work: Change order is for labor, equipment, and materials required to remove unmarked utility at approximately STA20+75 that was abandoned to accommodate the conduit run stubbed out of Ticketing Hall on 11/2/2023. Also included in this change order is the labor, equipment, and materials required to re-align existing storm drain around the base bid canopy pier per RFI response #022.

CCO Item Sub-Totals	Quantity	Units	Unit Price	Amount
T&M – Abandoned Storm Drain Removal	1	LSU	\$1,337.71	\$1,337.71
T&M – Realign Storm Drain around Canopy Pier	1	LSU	\$11,147.61	\$11,147.61

CCO Item Totals	Change (in Days)	Amount
CCO#019 – Misc Utility Conflicts	0	\$12,485.32

Submitted By:

3/26/2024

Braden Riley

Date

Approved By:

Reno-Tahoe Airport Authority

Date

Daily Time and Materials (T&M) Report

Date: 11/2/2023

Foreman: Taylor, Jeffrey M (00689)

Q & D Construction LLC.

16571 (RTAA Terminal Loop Road Reconstruction Project)

02.000.000.014 - EXTRA - Abandoned Storm Drain Removal

Quantity: 0 LSU

Notes:

Jackhammer and remove abandoned 30" storm drain at approx Sta. 20+75 to accommodate the conduit run that was stubbed out of the Ticketing Hall project and takes the place of the per plan stub at 19+18. The pipe was full of concrete from an old plug when they abandoned it. Reference the email from Tony with CME on 11-1

Labor

00200 - Gonzalez, Roberto C
00689 - Taylor, Jeffrey M
01029 - Ramos, Juan A
01750 - Edmiston, Brian D
03201 - Kingsley, Trent R

Hours

3
3
3
3
0

Total Labor Hours: 12

Equipment

01-444 - Pickup/Chevy/4x4/2500
01-479 - John Deere Gator/John Deere/XU
28-118 - GPS Data Collector/Trimble
28-156 - GPS SPS985 Rover/Trimble
28-170 - GPS Total Station/SPS930/Trimble
53-238 - Excavator/Cat/308E2CR
99-010 - Skidsteer / Cat / 289D - RPO
99-414 - Reachlift/Gehl/1055

Hours

3
3
3
3
3
0
0

Total Equipment Hours: 18

2/2/11

JC Detail

Mth	Trans#	Posted Date	Actual Date	Src	Vend# Co	Craft/Class Equip#/Mat#	Description	Earn Fact	Reference	Units	Hours	Cost
16571. RTAA Terminal Loop Road Reconstruction Project												
02.000.000.014						EXTRA - Abandoned Storm Drain Removal 2 LAB						
11/23	7181	11/09/23	11/02/23	PR	1	NNVLAB/Grou	1029/Ramos	ST		0.000	3.00	178.42
11/23	7182	11/09/23	11/02/23	PR	1	NNVLAB/Grou	200/Gonzalez	ST		0.000	3.00	179.39
11/23	7183	11/09/23	11/02/23	PR	1	NNVOPE-M22	689/Taylor	ST		0.000	3.00	273.66
11/23	7184	11/09/23	11/02/23	PR	1	NNVOPE-M22	1750/Edmiston	ST		0.000	3.00	252.76
Total for Cost Type: 2										0.000	12.00	884.23
02.000.000.014						EXTRA - Abandoned Storm Drain Removal 4 O EQ						
11/23	1273	11/03/23	11/02/23	EM	1	01-444	Pickup/Chevy/4x4/2			0.000	3.00	51.00
11/23	1274	11/03/23	11/02/23	EM	1	28-156	GPS SPS985 Rove			0.000	3.00	15.00
11/23	1275	11/03/23	11/02/23	EM	1	28-170	GPS Total Station/S			0.000	3.00	27.00
11/23	1276	11/03/23	11/02/23	EM	1	28-118	GPS Data Collector			0.000	3.00	6.00
11/23	1277	11/03/23	11/02/23	EM	1	53-238	Excavator/Cat/308E			0.000	3.00	150.00
11/23	1278	11/03/23	11/02/23	EM	1	01-479	John Deere Gator/J			0.000	3.00	30.00
Total for Cost Type: 4										0.000	18.00	279.00
Total For Phase: 02.000.000.014											30.00	1,163.23
Total For Job: 16571.											30.00	1,163.23
Total For Company:1											30.00	1,163.23

+ 15% Mark-Up = \$1,337.71

Braden Riley

From: Tony Angelopoulos <tony@cmenv.com>
Sent: Wednesday, November 1, 2023 8:54 AM
To: Braden Riley; Jeff Taylor
Cc: Joe Mamola; Stacy Yokoyama; christian.heinbaugh@kimley-horn.com; Lau, Jon
Subject: New Conduit Run 20+75
Attachments: Conduit Run.PNG

Brayden,

I discussed the conduit run that was stubbed out from the Ticketing Hall Project with Jon and Joe. The stub out had to be relocated due to conflicts. For now, we want to run the 4-2" conduits across at the current location to the #1 lane. This will get Titan going today and we will determine the final configuration in the #1 lane at a later date.

This will take the place of the plan run at Station 19+18.84. Please see pic. Thank you,

Tony Angelopoulos



300 Sierra Manor Drive, Suite 1
Reno, NV 89511

tony@cmenv.com
Cell: 775-843-2269
www.cmenv.com

Daily Time and Materials (T&M) Report

Date: 11/3/2023

Foreman: Hedgcorth, John R (01080)

Q & D Construction LLC.

16571 (RTAA Terminal Loop Road Reconstruction Project)

02.000.000.015 - EXTRA - Realign Storm Drain Pipe Around Canopy Pier

Quantity: 0 LSU

Notes:

Dug up and removed existing 12" from manhole to location of old catch basin. Dug ditch from existing manhole around future footing and laid 12" sdr 35 pipe. From manhole to new manhole. Backfilled pipe.

Laid a total of 28' of 12" pipe. Used 2-45's and 1-22 1/2 degree fitting.

New manhole station is 14+65.

Labor

00329 - Ramirez-Gutierrez, Juan I
00357 - Ruiz, Miguel
01080 - Hedgcorth, John R
01438 - Arellano, Ruben
02673 - Volner, Ronald D
02692 - Allen, Gary E

Hours

8
8
8
8
8
8

Total Labor Hours: 48

Equipment

01-583 - Pickup / Chevy / 2500 Diesel
51-335 - 2005 Chev P/U - utility
99-468 - Excavator/Komatsu/PC78

Hours

8
8
8

Total Equipment Hours: 24

18/03

JC Detail

Mth	Trans#	Posted Date	Actual Date	Src	Vend# Co	Craft/Class Equip#/Mat#	Description	Earn Fact	Reference	Units	Hours	Cost
16571. RTAA Terminal Loop Road Reconstruction Project												
02.000.000.015		EXTRA - Realign Storm Drain Pipe Around Canopy Pier 1 MAT										
11/23	33497	11/27/23	11/03/23	AP	1	12675	Western Nevada St		11020677	0.000	0.00	3,378.36
11/23	33498	11/27/23	11/03/23	AP	1	12675	Western Nevada St		11020819	0.000	0.00	2,152.58
Total for Cost Type: 1										0.000	0.00	5,530.94
02.000.000.015		EXTRA - Realign Storm Drain Pipe Around Canopy Pier 2 LAB										
11/23	7185	11/09/23	11/03/23	PR	1	NNVLAB/Grou	1438/Arellano	ST		0.000	8.00	478.38
11/23	7186	11/09/23	11/03/23	PR	1	NNVLAB/Grou	329/Ramirez-Gutier	ST		0.000	8.00	488.74
11/23	7187	11/09/23	11/03/23	PR	1	NNVLAB/Grou	357/Ruiz	ST		0.000	8.00	478.38
11/23	7188	11/09/23	11/03/23	PR	1	NNVOPE-M22	1080/Hedgcorth	ST		0.000	8.00	736.59
11/23	7189	11/09/23	11/03/23	PR	1	NNVOPE-M22	2692/Allen	ST		0.000	8.00	672.04
11/23	7190	11/09/23	11/03/23	PR	1	NNVOPE-M22	2673/Volner	ST		0.000	8.00	676.50
Total for Cost Type: 2										0.000	48.00	3,530.63
02.000.000.015		EXTRA - Realign Storm Drain Pipe Around Canopy Pier 4 O EQ										
11/23	3307	11/07/23	11/03/23	EM	1	01-583	Pickup / Chevy / 25i			0.000	8.00	136.00
11/23	3308	11/07/23	11/03/23	EM	1	51-335	2005 Chev P/U - uti			0.000	8.00	64.00
Total for Cost Type: 4										0.000	16.00	200.00
02.000.000.015		EXTRA - Realign Storm Drain Pipe Around Canopy Pier 5 R EQ										
11/23	3309	11/07/23	11/03/23	EM	1	99-468	Excavator/Komatsu			0.000	8.00	432.00
Total for Cost Type: 5										0.000	8.00	432.00
Total For Phase: 02.000.000.015											72.00	9,693.57
Total For Job: 16571.											72.00	9,693.57
Total For Company:1											72.00	9,693.57

+ 15% Mark-Up = \$11,147.61

INVOICE



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NEW REMIT PAYMENT TO:
WESTERN NEVADA SUPPLY
950 S. ROCK BLVD.
SPARKS, NV 89431-5922
Access your account online at:
<https://Shop.Goblueteam.com>

INVOICE#	INVOICE DATE
11020677	11/03/23
ACCOUNT NO.	CUSTOMER P.O.
170300M	16571
JOB ACCT. NO	PAGE
170300.16571	1 of 1

SOLD TO:	SHIP TO:	ORDER DATE
170300M Q&D CONSTRUCTION P.O. BOX 10865 RENO, NV 89510-0865	170300.16571 Q&D CONSTRUCTION "RTIA TERMINAL LOOP RD" 2001 E PLUMB LANE RENO, NV. 89502	11/02/23
		REQ. DATE
		11/02/23
		SHIP DATE
		11/03/23

JOB NAME	JOB CONTACT	CONTACT PHONE	WRITTEN BY	FOB	SHIP-VIA
RTIA TERMINAL LOOP RD	JOHN HEDGCORTH	525-4066	JESUS RUIZ	FULL FREIGHT	WW WILL CALL

ITEM NUMBER	DESCRIPTION	QTY ORD	QTY SHIP	QTY B/O	UNIT PRICE	UNIT	EXT. PRICE	DISC %	NET AMOUNT
WFI1906151	12 SG PVC SWR 45	3	3	0	1168.92	EA	3506.76	54.5	1595.58
WFI1908179	12 SG PVC SWR 22 1/2	3	3	0	1117.12	EA	3351.36	54.5	1524.87
THANK YOU FOR YOUR BUSINESS!									
REMIT TO: 950 S. ROCK BLVD., SPARKS, NV 89431									
No Signature									
Material signed for by: TIGER 11/03/23 06:22:08									

INCOMING FREIGHT:	0.00	OUTGOING FREIGHT:		FREIGHT TOTAL	0.00
Purchaser acknowledges delivery and receipt of the above goods in good condition. No material accepted for credit without approval. Returned merchandise subject to handling and transportation charges. Delinquent accounts will be charged a 1 1/2 % Service Charge per month (18% annually). If legal action is necessary to collect a delinquent account, purchaser agrees to pay a reasonable attorney's fee.				MDSE TOTAL	3,120.45
				TAX	257.91
				ORDER TOTAL	3,378.36
ALL RETURNED MATERIAL MUST BE ACCOMPANIED BY THE ORIGINAL INVOICE NUMBER & DATE			TERMS NET 30 DAYS		



Elko
775.738.9811
S. Lake Tahoe
530.541.1884

Carson City
775.882.0900
Bishop
760.873.7119

Truckee
530.582.5009
Susanville
530.251.5800

Winnemucca
775.625.5600

PICK LIST

Corporate
950 S. Rock Blvd. • Sparks, NV 89431
tel 775.359.5800 • fax 775.359.4649

ID#: WW4

PAGE#: 1 OF: 1



NO BACK ORDER

SPECIAL INSTRUCTIONS:

ORDER NUMBER: 11020677 11/02/23 04:13PM BACK ORDER: N SHIP VIA: ww REQ. DATE: 11/02/23			
SHIP TO: 170300.16571 Q&D CONSTRUCTIO Q&D CONSTRUCTION "RTIA TERMINAL LOOP RD" 2001 E PLUMB LANE RENO, NV. 89502 SHIP FROM: SPARKS, NV SALESPERSON: GREG HIGGINS WRITTEN BY: JESUS RUIZ EXT: PO NUMBER: 16571 ORDER DATE: 11/02/23 VAN:		JOB NAME: RTIA TERMINAL LOOP RD JOB CONTACT: JOHN HEDGCORTH JOB PHONE: 525-4066 SHIP VIA: WW WILL CALL SOLD FROM: SPARKS, NV FT TERMS: FULL FREIGHT ALLOWED REQ. DATE: 11/02/23 2 LINE(S) OF 2 FORKLIFT REQUIRED: NO	

LN#	FILLED-BY	PRODUCT#	DESCRIPTION	LOCATION	UNIT	QTY-DUE	QTY-PICK
2		WFI1908179	12 SG PVC SWR 22 1/2	60-00-03-1B	EA	3	
1		WFI1906151	12 SG PVC SWR 45	60-00-03-2B	EA	3	

16571
02.000.000,015

ORDER # 11020677

BOXES:	BUNDLES:	PALLETS:	LOOSE PIECES:	BAGS:	ROLLS:	OTHER:
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**** ALL HVAC EQUIPMENT AND AIR CONDITIONING MUST BE INSTALLED BY A LICENSED HVAC AND EPA PROFESSIONAL ****

INVOICE



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950 S. ROCK BLVD.
SPARKS, NV 89431-5922

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<https://Shop.Goblueatteam.com>

INVOICE#	INVOICE DATE
11020819	11/03/23
ACCOUNT NO.	CUSTOMER P.O.
170300M	16571
JOB ACCT. NO.	PAGE
170300.16571	1 of 1

SOLD TO:		SHIP TO:			ORDER DATE
170300M		170300.16571			11/03/23
Q&D CONSTRUCTION		Q&D CONSTRUCTION			REQ. DATE
P.O. BOX 10865		"RTIA TERMINAL LOOP RD"			11/03/23
RENO, NV 89510-0865		2001 E PLUMB LANE			SHIP DATE
		RENO, NV. 89502			11/03/23
JOB NAME	JOB CONTACT	CONTACT PHONE	WRITTEN BY	FOB	SHIP-VIA
RTIA TERMINAL LOOP RD	JOHN HEDGCORTH	525-4066	CARRIE RITTER	FULL FREIGHT	WW COUNTER SA

RECEIVED
NOV 04 2023
Q & D Construction

ITEM NUMBER	DESCRIPTION	QTY ORD	QTY SHIP	QTY B/O	UNIT PRICE	UNIT	EXT. PRICE	DISC %	NET AMOUNT
WPZ1901250	12 X 20 SDR 35 PVC SWR PIPE	20	20	0	65.55	FT	1311.00	50	655.60
WFI1906151	12 SG PVC SWR 45	1	1	0	1168.92	EA	1168.92	54.5	531.86
WFI1908179	12 SG PVC SWR 22 1/2	1	1	0	1117.12	EA	1117.12	54.5	508.29
IEZ1600113	MIRAFI ES45N 4X300 GT140 4.5 OZ FABRIC	1	1	0	650.00	EA	650.00	55	292.50

THANK YOU FOR YOUR BUSINESS!

REMIT TO: 950 S. ROCK BLVD., SPARKS, NV 89431

X

Material signed for by: QD 11/03/23 06:36:16

INCOMING FREIGHT:	0.00	OUTGOING FREIGHT:		FREIGHT TOTAL	0.00
Purchaser acknowledges delivery and receipt of the above goods in good condition. No material accepted for credit without approval. Returned merchandise subject to handling and transportation charges. Delinquent accounts will be charged a 1 1/2 % Service Charge per month (18% annually). If legal action is necessary to collect a delinquent account, purchaser agrees to pay a reasonable attorney's fee.				MDSE TOTAL	1,988.25
				TAX	164.33
ALL RETURNED MATERIAL MUST BE ACCOMPANIED BY THE ORIGINAL INVOICE NUMBER & DATE				ORDER TOTAL	2,152.58
TERMS NET 30 DAYS					



Elko
775.738.9811
S. Lake Tahoe
530.541.1884

Carson City
775.882.0900
Bishop
760.873.7119

Truckee
530.582.5009
Susanville
530.251.5800

Winnemucca
775.625.5600

PICK LIST

Corporate
950 S. Rock Blvd. • Sparks, NV 89431
tel 775.359.5800 • fax 775.359.4649

ID#: LOCAL
PAGE#: 1 OF: 1

NO BACK ORDER



SPECIAL INSTRUCTIONS:

ORDER NUMBER: 11020819 11/03/23 06:21AM BACK ORDER: N SHIP VIA: WCS REQ. DATE: 11/03/23			
SHIP TO: 170300.16571 Q&D CONSTRUCTIO Q&D CONSTRUCTION "RTIA TERMINAL LOOP RD" 2001 E PLUMB LANE RENO, NV. 89502 SHIP FROM: SPARKS, NV SALESPERSON: GREG HIGGINS WRITTEN BY: CARRIE RITTER EXT: 1297 PO NUMBER: 16571 ORDER DATE: 11/03/23 VAN:		JOB NAME: RTIA TERMINAL LOOP RD JOB CONTACT: JOHN HEDGCORTH JOB PHONE: 525-4066 SHIP VIA: WW COUNTER SALE SOLD FROM: SPARKS, NV FT TERMS: FULL FREIGHT ALLOWED REQ. DATE: 11/03/23 4 LINE(S) OF 4 FORKLIFT REQUIRED: NO	

LN#	FILLED-BY	PRODUCT#	DESCRIPTION	LOCATION	UNIT	QTY-DUE	QTY-PICK
3	_____	WFI1908179	12 SG PVC SWR 22 1/2	60-00-03-1B	EA	1	_____
2	_____	WFI1906151	12 SG PVC SWR 45	60-00-03-2B	EA	1	_____
4	_____	IEZ1600113	MIRAFI ES45N 4X300 GT140 4.5 OZ FABRIC	67-00-01-1A	EA	1	_____
1	_____	WPZ1901250 #PCS 1	12 X 20 SDR 35 PVC SWR PIPE	67-00-01-2A	FT	20	_____

16571
02.000.000.015

ORDER # 11020819

BOXES:	BUNDLES:	PALLETS:	LOOSE PIECES:	BAGS:	ROLLS:	OTHER:
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**** ALL HVAC EQUIPMENT AND AIR CONDITIONING MUST BE INSTALLED BY A LICENSED HVAC AND EPA PROFESSIONAL ****



REQUEST FOR INFORMATION

RFI # : 0022

1050 S. 21st St.
SPARKS, NV 89431
(775) 786-2677
FAX #: (775) 786-5136

TO: Christian Heinbaugh

DATE: 11/2/2023

COMPANY: Kimley-Horn

Q&D Job #: 16571

FROM: Braden Riley
Project Engineer
Q&D Construction LLC

RE: SDMH STA14+65.65 Existing SD pipe Tie-In

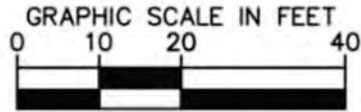
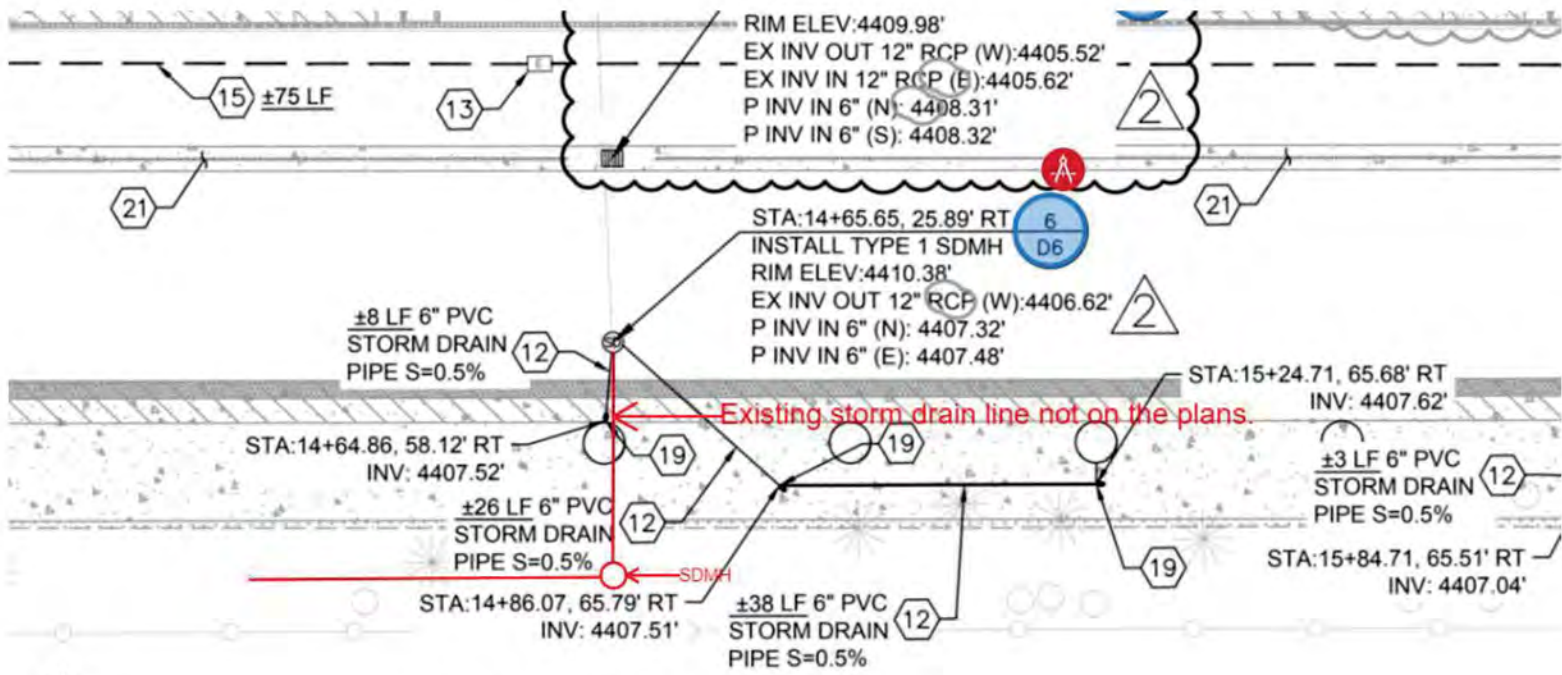
DESCRIPTION OF REQUEST:

There is an existing approx. 12" SDR Storm Drain pipe that ties into the proposed Type 1 SDMH at STA 14+65.65 from the east side and runs into another storm drain manhole in the landscape area by the Green Lot. This existing pipe conflicts with the layout of the canopy piers as shown. Please advise how to proceed with install of the Type 1 SDMH to tie into the existing lines. Please see attached mark-up drawing for reference.

REPLY:

Per field discussion, please connect to the existing PVC pipe just outside of the SDMH with a 45' elbow and then use 12" PVC pipe and 22.5' elbows to create a route around the south side of the canopy column. Ensure min. 3.0' clear between edge of canopy footing and edge of PVC pipe. See clip with schematic markup below.

Christian Heinbaugh, Kimley-Horn
2023.11.02



EX INV OUT 36" RCP (S): 4403.41'

AS PART OF BID ADDITION IF SELECTED



14+00

STA 14+68.37
per Q&D email

15+00

STA: 14+65.65, 25.89' RT
INSTALL TYPE 1 SDMH WITH
OPEN GRATE LID
RIM ELEV: 4409.98'
EX INV OUT 12" RCP (W): 4405.52'
EX INV IN 12" RCP (E): 4405.62'
P INV IN 6" (N): 4408.29'
P INV IN 6" (S): 4408.30'



15 ±75 LF



STA: 14+65.65, 25.89' RT
INSTALL TYPE 1 SDMH
RIM ELEV: 4410.38'
EX INV OUT 12" RCP (W): 4406.62'
P INV IN 6" (N): 4407.32'
P INV IN 6" (E): 4407.48'



±8 LF 6" PVC
STORM DRAIN
PIPE S=0.5%



3' CLEAR BETWEEN
12" PVC SD AND
CANOPY
COLUMN/FOOTING

STA: 14+64.86, 58.12' RT
INV: 4407.52'

±26 LF 6" PVC
STORM DRAIN
PIPE S=0.5%



REMOVE EXISTING
12" PVC SD

STA: 14+86.07, 65.79' RT
INV: 4407.51'

±38 LF 6" PVC
STORM DRAIN
PIPE S=0.5%

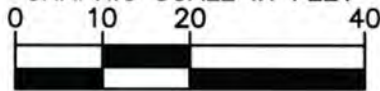
INSTALL 30'+/-
NEW 12" PVC SD AROUND
PROPOSED CANOPY
COLUMN/FOOTING. USE
45' ELBOW TO CONNECT
TO EXISTING 12" PVC SD
JUST OUTSIDE OF
MANHOLE AND USE 22.5'
ELBOWS AS NECESSARY
TO ROUT SD TO
PROPOSED SDMH
LOCATION IN LOADING
LANE

STA: 15+24.71, 65.68' RT
INV: 4407.62'

±3 LF 6" PVC
STORM DRAIN
PIPE S=0.5%

STA: 15+84.71, 65.
INV: 4407.62'

GRAPHIC SCALE IN FEET



RENO-TAHOE AIRPORT AUTHORITY CONTINGENCY CHANGE ORDER



CCO No.

Contractor:

Project:

Solicitation Number:

Summary of Change and List of Attachments:

This Contingency Change Order set forth the terms and conditions to provide labor, equipment, material, and full compensation to remove and replace the median for a temporary crossover to accommodate the rental car access during the course of construction. This Contingency Change Order reflects a deduct of 185 calendar days from the contract.

The following will be added to the Base Bid Schedule of Values for the following items of work

CCO 09-01 Paving Mobilization	\$	(5,000.00)
Bid Item 7 Remove Existing Median Sidewalk	\$	714.00
Bid Item 5 Remove Existing Curb	\$	324.00
CCO 09-02 Remove Median Wall Barrier	\$	3,960.00
Bid Item 29 PCC Median Sidewalk (Accessible Area)	\$	2,839.00
Bid Item 25 Post Curb	\$	936.00
Bid Item 36 Median Barrier Wall Closure	\$	20,232.00
Total amount approved for all changes referenced	\$	24,005.00

These changes are to be funded with PFC 15.
 Enclosures: Q&D Construction Change Order Request No. 020 - Dated 3/26/2024
 Q&D CPM Schedule - Dated 4/2/2024

Contingency Change Order Summary:

Contract Contingency Total: \$

Total Previously Approved: \$

Total Change this Authorization: \$ ADD

Remaining Contingency Balance: \$

Change in Contract Times:

Original Duration:

Previous Authorization:

This Authorization: DEDUCT

Revised Contract Time:

Contract Summary:

Original Contract: \$

Total Previously Approved CO's \$

Total Previously Approved CCO's \$

Contract Sum Prior to this CCO \$

Total Change this Authorization: \$

New Contract Sum: \$

Contractor Signature  Date:

Project Mgr Signature _____ Date: _____

Q&D Construction, Jeff Bean

RTAA Project Mgr: Jon Lau

Construction Mgr Signature  Date:

Manager Signature _____ Date: _____

CME, Construction Manager: Joe Mamola

RTAA Mgr Engineering & Construction: Jackie Borman



CHANGE ORDER REQUEST

CCO No. 020

Project No.: 16571 – RTIA Terminal Loop Road Project

Date: 3/26/2024

To: Jon Lau
 Reno-Tahoe Airport Authority
 2001 E Plumb Lane
 Reno, NV 89502

From: Braden Riley
 Q&D Construction LLC
 PO Box 10865
 Reno, NV 89510

Phone: 775-328-6462

Phone: 775-786-2677

Fax:

Fax: 775-786-5136

Email: jlau@renoairport.com

Email: briley@qdconstruction.com

cc: Joe Mamola (CME), Marc Leone (Q&D)

Below is the detail for our proposal to complete the following changes in contract work:

- Change Order Request: CCO#020 – Median Crossover
 - Proposed Scope of Work: Change order is for labor, equipment, and materials to remove and replace the median for a temporary crossover to accommodate the rental car access during construction. This estimate is based on providing the attached travel way for rental car access.

CCO Item Sub-Totals	Quantity	Units	Unit Price	Amount
Paving Mobilization	1	EA	(\$5,000.00)	(\$5,000.00)
Remove Existing Median Sidewalk	17	SY	\$42.00	\$714.00
Remove Existing Curb	18	LF	\$18.00	\$324.00
Remove Median Barrier Wall	36	LF	\$110.00	\$3,960.00
PCC Median Sidewalk (Accessible Area)	17	SY	\$167.00	\$2,839.00
Post Curb	18	LF	\$936.00	\$936.00
Median Barrier Wall Closure	36	LF	\$562.00	\$20,232.00

CCO Item Totals	Change (in Days)	Amount
CCO#020 – Median Crossover	0	\$24,005.00

-185 JM/CME

Submitted By:

3/26/2024

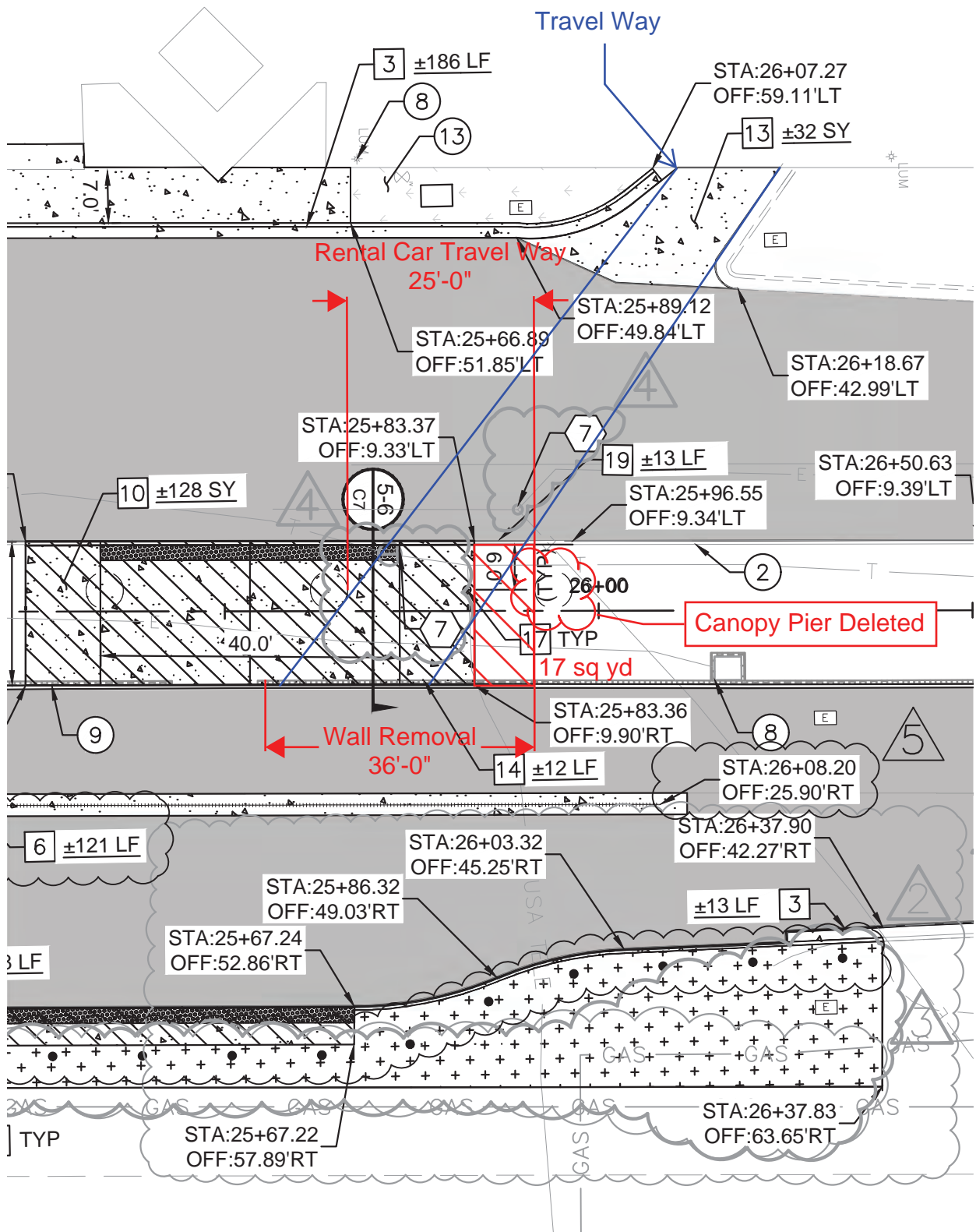
Braden Riley

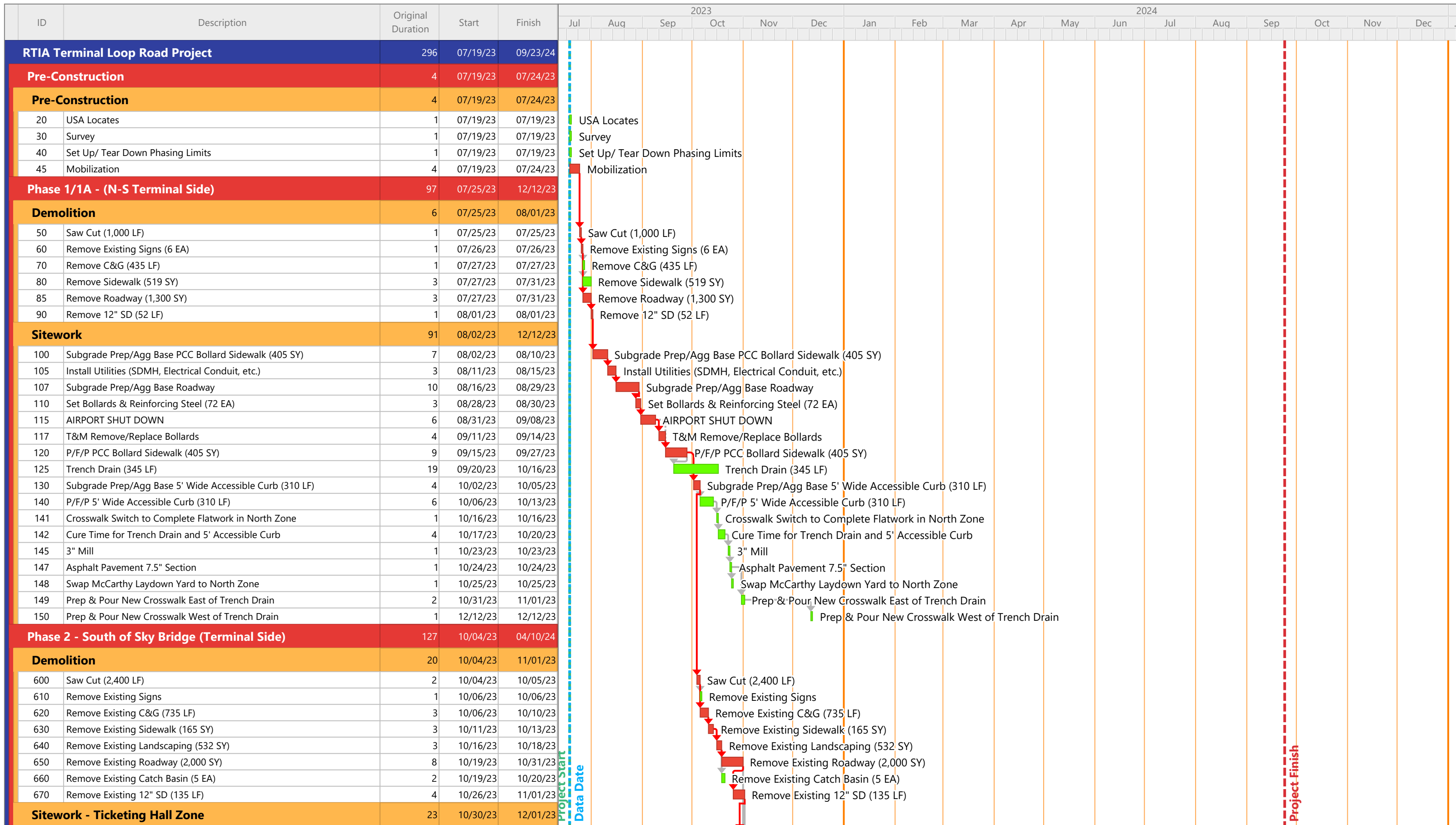
Date

Approved By:

Reno-Tahoe Airport Authority

Date





Start Date: 07/19/23
 Finish Date: 09/23/24
 Data Date: 07/19/23
 Run Date: 04/02/24
 RTIA Terminal Loop Road West Side Reconfiguration.ppx
 Page 1A

RTIA Terminal Loop Road Reconstruction Project





Administrative Report

Date: June 11, 2024

Subject: Administrative Award of Contracts (Revenues)
Pursuant To Resolution No. 557 - May 2024

BACKGROUND

At the July 14, 2022, meeting of the Board of Trustees of the Reno-Tahoe Airport Authority, the Board approved Resolution No. 557, recognizing the inherent authority of the President/CEO, or authorized representative to award revenue contracts except those that are, in combination, more than 5 years in Term, including options, and generate aggregate revenues of \$250,000 or more.

DISCUSSION

Resolution No. 557 requires that the President/CEO provide the Board of Trustees with an administrative report setting forth a list of revenue contracts and associated options to extend approved administratively as a result of the resolution to be given to the Board on a monthly basis.

May 2024

Date	Lessee	Property Address	Agreement Term	Contract Value	Portfolio
4/9/24	RNO Conrac, LLC	TBD	30 Years	\$21,130,560	Outside Properties
5/1/24	Vaughn & Sons Construction Inc.	2890 Vassar Street, Suite AA-11, Reno, NV 89502	12 Months	\$7,713.72	Outside Properties
5/1/24	Celtic Pest Inspections and Control Services	2900 Vassar Street, Suite CC-26, Reno, NV 89502	12 Months	\$5,893.44	Outside Properties
5/1/24	Celtic Pest Inspections and Control Services	2890 Vassar Street, Suite AA-5, Reno, NV 89502	12 Months	\$6,186.00	Outside Properties

Date	Lessee	Property Address	Agreement Term	Contract Value	Portfolio
4/9/24	RNO Conrac, LLC	TBD	30 Years	\$21,130,560	Outside Properties
5/1/24	Celtic Pest Inspections and Control Services	2890 Vassar Street, Suite AA-6, Reno, NV 89502	12 Months	\$5,919.72	Outside Properties
5/1/24	Madrigal Estate Sales & Restoration Inc, dba Madrigal Consulting Co.	2890 Vassar Street, Suite BB-14, Reno, NV 89502	12 Months	\$6,186.00	Outside Properties
5/1/24	Madrigal Estate Sales & Restoration Inc, dba Madrigal Consulting Co.	2890 Vassar Street, Suites BB-18 & 19, Reno, NV 89502	12 Months	\$10,780.44	Outside Properties
5/1/24	# of New Tenant 1	Mini Warehouse Park to Travel	Month to Month	\$95.00	Outside Properties



Administrative Report

Date: June 11, 2024

Subject: Financial Reporting Package –April 2024

EXECUTIVE SUMMARY

Attached is the Financial Reporting Package covering the ten months concluding on April 30, 2024, of fiscal year (FY) 2023-24. The package includes a high-level summary of total revenue and expenses and a more detailed discussion of key metrics.

Equities faced a challenging April after enjoying three consecutive months of growth. The S&P 500 experienced its first monthly decline of 2024, dropping by 4.1%, while the NASDAQ and the Dow Jones Industrial Average also saw significant decreases of 4.4% and 4.9%, respectively. Among the indices listed, Emerging Markets stood out with a positive gain for April, while the Russell 2000 suffered the most, plunging by 7%. In terms of sectors, only Utilities managed to stay in the green for April. Real Estate took the biggest hit, plummeting by 8.5%, closely followed by Technology and Health Care, which both experienced declines of 5.8% and 5.0%, respectively.

In April, the Consumer Price Index for All Urban Consumers increased by 0.3%, seasonally adjusted, and it increased by 3.4% over the preceding 12 months, not seasonally adjusted. The index for all items less food, excluding food and energy, increased 0.3% in April.¹

In April 2024, the U.S. economy saw an increase of 175,000 jobs, marking the slowest gain in six months and falling short of market forecasts. The unemployment rate increased slightly from 3.8% to 3.9%. There's a noticeable trend toward a demand for skilled labor, reflected in higher unemployment rates among professional and business services workers, compared with lower rates in the manufacturing sector. Nevertheless, despite these hurdles, the healthcare industry remains a stalwart in employment expansion, boasting the addition of roughly 750,000 new jobs over the previous year.

The unemployment rate for April 2024 stood at 3.8%, with 6.4 million individuals reported as unemployed. The unemployment rate has consistently fluctuated within a narrow range of 3.7% to 3.9% since August 2023. April's figures indicate a decrease from the previous month's rate of 3.9%. This decline was primarily influenced by a gain of 498,000 last month.²

Passenger traffic at RNO was forecasted to continue its upward trend in FY 2023-24, expected to reach 2.497 million enplaned passengers. This represents a 12% increase from the prior fiscal year and marks the highest passenger forecast since FY 2006-07. While demand for travel in the Reno-Tahoe region remains strong, passenger airlines are adapting their schedules to align with pilot and aircraft availability, leading to a reduction in flight frequency in favor of larger aircraft and a potential for high load factors. The updated enplaned passenger traffic forecast for FY 2023-24 is 2.420 million.

¹ <https://www.bls.gov>

² [Bureau of Labor Statistics \(USDL-24-0629\)](#)

In April 2024, RNO was served by ten passenger airlines offering non-stop scheduled service to 19 destinations. Enplanements were 179,020, a decrease of 11.2% compared to the budget forecast and an increase of 0.8% from April 2023. Total enplanements for the ten months ending April 30, 2024, reached 1.928 million, a decrease of 6.3% compared to the budget forecast and a 4.6% increase year-over-year. Total landed weight was 7.9% lower than the budget forecast for both passenger and cargo airlines.

To better track actual results as compared to the budget, adjustments for seasonal variations of revenues, expenses, and airline activity are incorporated into the budget. Revenues are adjusted to reflect peak month changes in airline activity, resulting in some higher airline revenues, public parking, and concession revenues. Other seasonal adjustments include specific utility costs and special events. The balance of budgeted operating expenses assumes a uniform distribution, with one-twelfth of the operating expense budget allocated to each month.

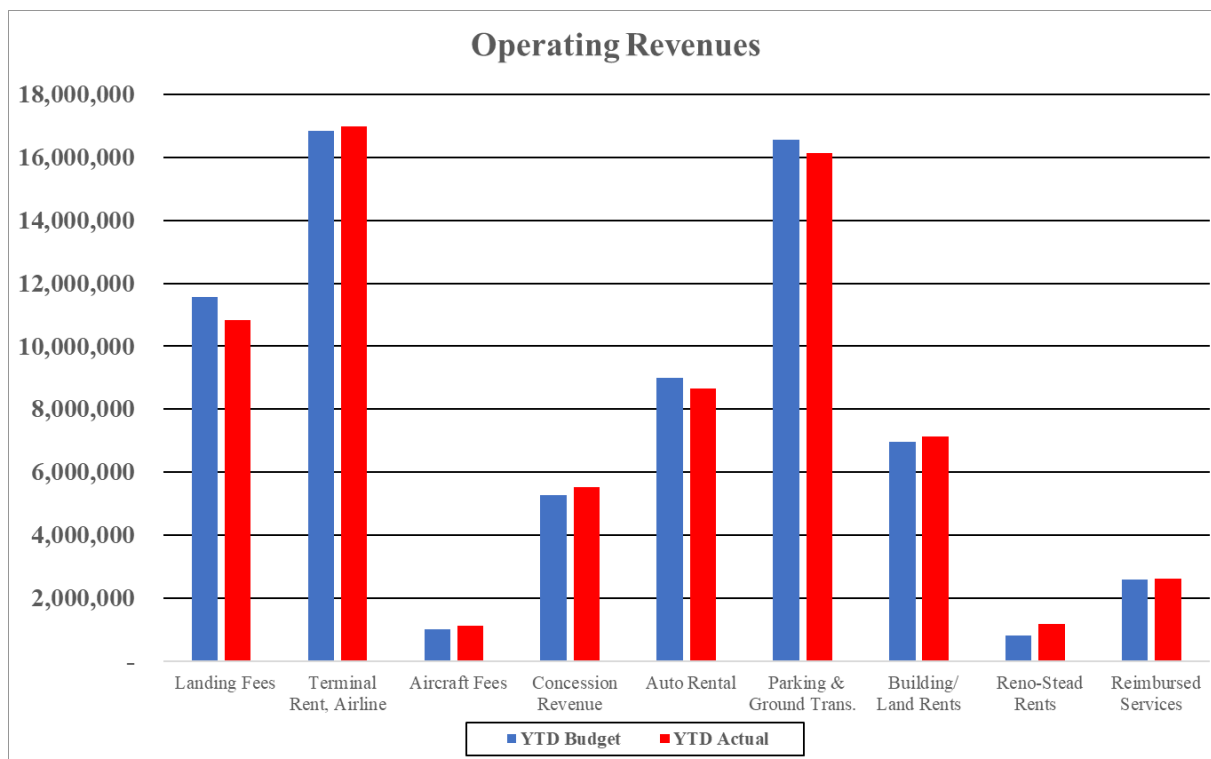
	YEAR TO DATE April 30, 2024 (\$ in thousands)						
	Actual Results				83.3% Of Fiscal Year		
	CURRENT YEAR	PRIOR YEAR	VARIANCE		Y-T-D BUDGET	VARIANCE	
			\$	%		\$	%
Operating Revenue							
Airline	\$ 21,444	\$ 16,253	\$ 5,192	31.9%	\$ 21,725	\$ (281)	-1.3%
Non-Airline	42,492	38,628	3,864	10.0%	42,333	160	0.4%
Total Operating Revenue	63,937	54,881	9,056	16.5%	64,058	(121)	-0.2%
Operating Expenses	(50,339)	(44,989)	(5,350)	11.9%	(54,538)	4,199	-7.7%
Net Operating Income	13,597	9,892	3,706	37.5%	9,520	4,078	42.8%
Non-Operating Income (Expense)*	26,490	27,195	(705)	-2.6%	16,846	9,644	57.2%
Net Income Before Depreciation	40,087	37,086	3,001	8.1%	26,366	13,721	52.0%

Based on actual results through April 30, 2024, net income before depreciation was approximately \$40.087 million, reflecting a substantial increase of \$13.721 million or 52.0% from the budget forecast. This noteworthy surge is primarily attributed to operating expenses being \$4.199 million or 7.7% below budget, coupled with non-operating income surpassing expectations by \$9.644 million or 57.2% above budget. The non-operating revenue increase includes federal stimulus funds (CARES, ARPA) in the current fiscal year for projects budgeted and started in the prior year.

OPERATING REVENUES

RTAA's FY 2024 operating revenues through April 30, 2024, totaled \$63.937 million, approximately \$121,100 or 0.2% below budget due to lower-than-anticipated airline traffic and softer-than-expected public parking and auto rental activity. Revenues exceeded the prior fiscal year's actual results by \$9.056 million or 16.5%. This upturn can be attributed to higher terminal rents, landing fees, concession revenues, aircraft fees, parking and ground transportation fees, and other rents.

The chart below reflects actual operating revenues for the fiscal year as compared to the budget amount.



AIRLINE REVENUES

Airline revenues are collected by prescribed rates and charges as specified by formulas in RTAA’s new Airline-Airport Use and Lease Agreement (AAULA) with the signatory airlines, effective from July 1, 2023, to June 30, 2033. The AAULA maintains a hybrid structure, with a complete recoupment of net Airfield cost center operating, maintenance, debt service, amortization, and capital improvement costs through landing fees from the airlines, and the airlines only pay for the space they use in the terminal building.

The AAULA includes a revenue-sharing methodology for the distribution of available net revenues to signatory passenger airlines on a per-enplaned passenger basis. This aims to create an incentive for air service by tying an allocated amount of available net revenues to the number of enplaned passengers of each signatory airline. Signatory airlines have the flexibility to use the revenue share credit to cover monthly rates and charges. The total revenue share credit of \$6.370 million (\$3.70 per enplaned passenger), was \$324,100 or 4.8% below the FY 2023-24 budget. This was attributable to the lower enplaned passenger traffic reported by signatory airlines.

Landing Fees

The formula for calculating landing fees consists of 100% cost recovery of Airfield-related operating costs, capital improvement costs, debt service, amortization, and other charges. These costs are mitigated by Airfield-derived revenues and non-signatory landing fees. Landing fees were budgeted and collected at \$3.99 per 1,000 lbs. of landed weight for signatory airlines and \$4.59 for non-signatory airlines. Non-signatory airlines pay 15% above the budgeted signatory airline rate. Based on actual results for the ten-month period ending April 30, 2024, the calculated signatory landing fee per 1,000 lbs. was \$3.96. The

slight decrease in signatory landing fees is due to the below budget actual expenses in the first ten months of the fiscal year. Landed weight reported by most airlines in the first ten months of the fiscal year was also below the budget forecast. Lower landed weight was reported by Alaska, Delta, Southwest, FedEx, UPS, Allegiant, JetBlue, and Spirit partially offset by higher landed weight reported by American, United, and Sun Country. While below budget, the landed weight reported through April 30, 2024, was 3.3% above the same period in FY 2022-23. Total landing fee revenues were \$10.825 million, approximately \$747,400 or 6.5% below the adopted budget.

Airline Terminal Rents

Airline terminal rents are determined by the recovery of all Terminal costs, including operating and maintenance, capital improvement, debt service, and amortization. This cost is divided by the square footage of the airline rentable space in the terminal building. The Terminal requirement is partially offset by in-terminal concession revenues, a 50% share of gaming revenues, and reimbursed services. The budgeted average rental rate is \$142.44 per square foot per annum (PSFPA). Based on the actual results for the ten months ending April 30, 2024, the calculated average terminal rental rate was \$126.71, a decrease of 11.04% compared to the budget. The decrease is primarily due to the lower operating costs of the Terminal cost center in the first ten months of the year. Actual airline terminal rental revenues were \$16.989 million through April 2024, surpassing the budget by approximately \$142,700 or 0.8%.

NON-AIRLINE REVENUES

Non-airline operating revenues play a crucial role in supporting RTAA's operating costs outside of airline-affiliated operations. While airline revenues are calculated and collected as cost recovery for airline-related operations, non-airline operating revenues are essential to fund internal operations, equipment acquisitions, and capital improvement projects that are not directly associated with airline operations. Non-airline operating revenues are primarily comprised of terminal and rental car concession revenues, public parking, building/land rents, and reimbursement of RTAA-provided services. Based on actual results for the ten-month period ending April 30, 2024, non-airline operating revenues, adjusted by the ARPA allocation of approximately \$87,900 totaled \$42.492 million, \$159,600 or 0.4% above the budget forecast.

Concession revenues outperformed the budget by \$259,600 or 4.9% primarily due to higher-than-anticipated activity by the ground handling operating at RNO, aircraft fees, terminal, and building rents. In addition, gaming and retail concessions also reported positive results in the first ten months of the year. Auto rental concession revenues were \$350,900 or 3.9% and food and beverage concession revenues were \$120,300 or 6.6% below budget. Parking revenues fell short of the budget forecast by \$455,700, a decrease of 2.9%, and exceeded the same period in the previous fiscal year by \$766,600 or 5.3%. The underperformance in parking revenues is directly related to increased activity reported by the transportation network companies (TNCs) as more passengers use the transportation services provided by TNCs. As a result, ground transportation revenues outperformed the budget by \$21,200 or 2.6%. Parking revenue per enplaned passenger increased by 0.6% from \$7.70 to \$7.75 when compared to the same period in the prior fiscal year.

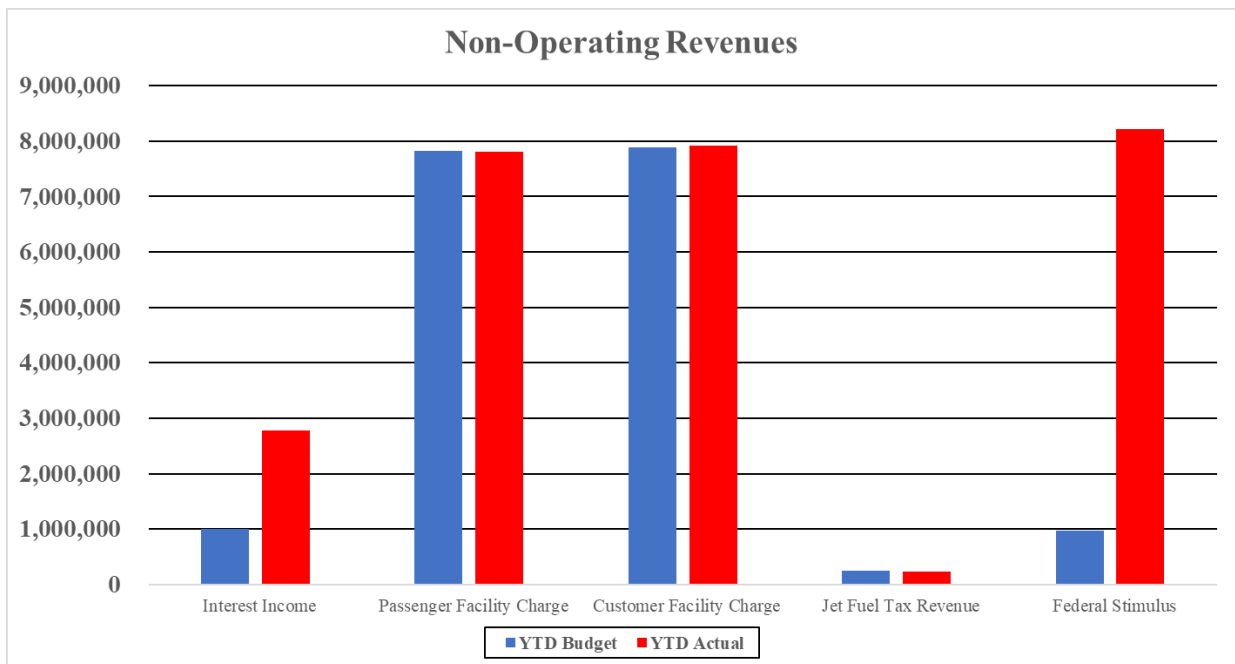
Reno-Tahoe Land Rental revenues are \$12,300 below budget through April 2024 due to the delayed commencement of rent for the Toles commercial development. Reno-Stead Airport (RTS) rents outperformed the budget by \$354,000 due to the option payments received from Dermody Properties.

NON-OPERATING REVENUES

Non-operating revenues reached \$26.490 million, exceeding the budget by approximately \$9.644 million or 57.2% based on actual results for the ten-month period ending April 30, 2024. This revenue category is primarily comprised of Customer Facility Charges (CFCs) associated with the rental car activity, Passenger Facility Charges (PFCs), federal stimulus funds (CARES, ARPA), interest income, and aviation fuel tax. Federal stimulus funds are recorded as non-operating revenues when funds are received from the FAA. The single largest increase in this category was \$8.217 million of CARES and ARPA federal stimulus funds received to reimburse RTAA for prior period disbursements. These prior period reimbursements were not factored into the FY 2023-24 budget forecast.

CFC collections, interest income, and fuel tax revenues collectively surpassed the budget forecast by approximately \$1.790 million. CFCs were increased from \$6.50 to \$9.00 per transaction day effective September 1, 2023. The rate increase was not factored into the adopted budget forecast. FY 2023-24 CFC revenues through April 30, 2024, were \$7.919 million, \$34,800 or 0.4% above budget primarily due to the rate increase in September 2023.

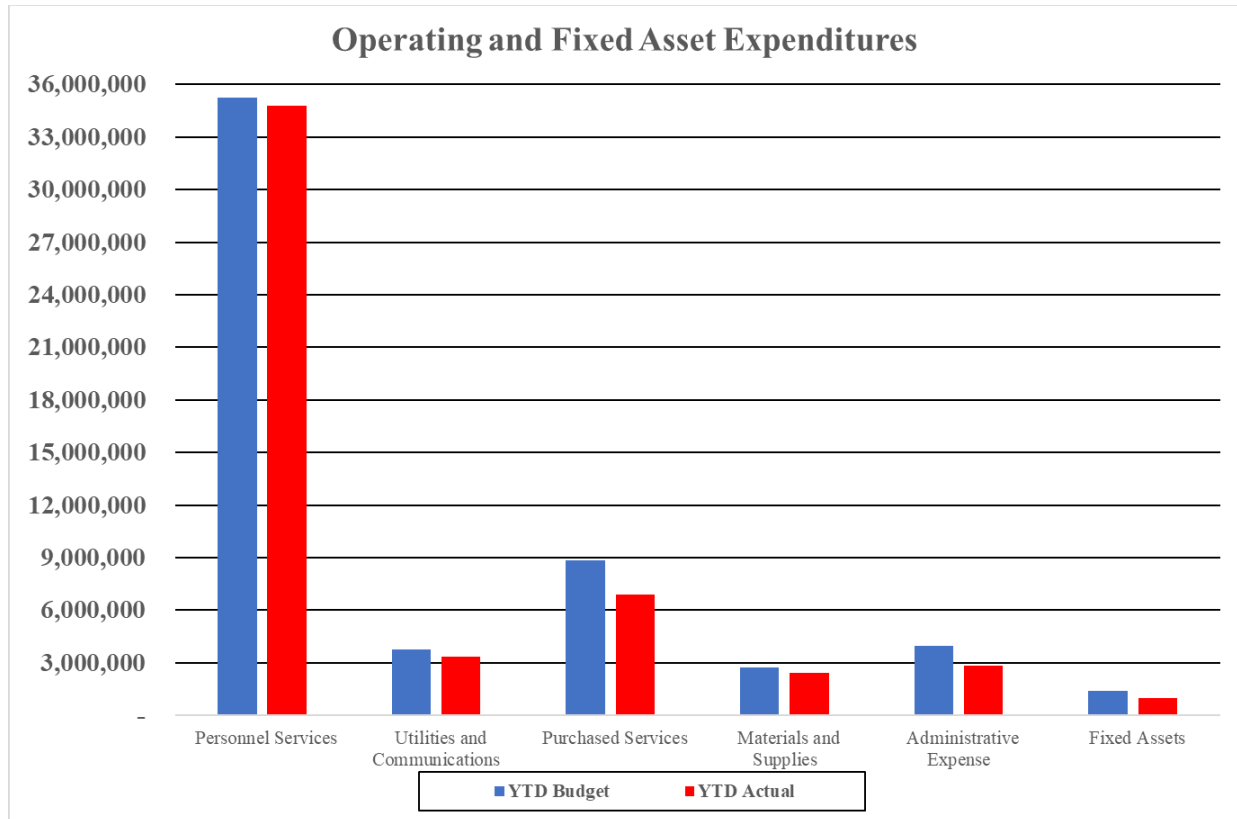
PFC revenues are collected by airlines from ticket sales at \$4.50 per enplaned passenger, with RTAA receiving a net of \$4.39 after a \$0.11 administration fee. PFC collections are reflected as revenue when the cash is received, resulting in some months appearing to be over-collected and others under-collected due to timing. In the first ten months of the year, PFC revenues were \$7.813 million, exceeding the same period in the prior year by \$903,000 or 13.1%, and \$15,400 or 0.2% below budget. This difference is primarily attributed to the timing of cash received. PFCs are collected by airlines at the time of ticket sales, resulting in revenues not precisely aligning with actual passenger traffic in any period.



OPERATING EXPENSES

Based on actual results for the ten-month period ending April 30, 2024, operating expenses of \$50.339 million, were \$4.199 million or 7.7% below budget, and \$5.350 million or 11.9% above the same period in the prior fiscal year. Operating expenses are grouped into five categories: Personnel Services, Utilities and Communications, Purchased Services, Materials and Supplies, and Administrative expenses. All five categories were below budget.

The chart below reflects actual operating expenses for the fiscal year as compared to the budget amount.



DEBT SERVICE

On July 14, 2022, the Board approved a \$50 million non-revolving credit agreement with Wells Fargo Bank to provide short-term financing for RTAA’s capital program. The funds may be drawn in any amount not to exceed \$50 million. As of April 2024, a total of \$36.994 million has been drawn, leaving a balance of \$13.006 million available for future RTAA capital financing needs. Repayment of a portion of the drawn funds, along with interest and fees, is from federal stimulus funds. \$19.888 million was the outstanding debt balance as of April 2024 and is associated with the Ticketing Hall Expansion project.

KEY BENCHMARKS

The following are key benchmarks and ratios used to measure financial activities and monitor the financial health and condition of RTAA:

Key Statistics / Benchmarks	YEAR TO DATE April 30, 2024						
					83.3% Of Fiscal Year		
	CURRENT YEAR	PRIOR YEAR	VARIANCE	%	Y-T-D BUDGET	VARIANCE	%
Enplaned Passengers	1,927,721	1,842,690	85,031	4.6%	2,056,479	(128,758)	-6.3%
Airline Cost Per Enplaned Passenger	\$ 10.28	\$ 6.76	\$ 3.52	52.1%	\$ 9.76	0.52	5.3%
Non-Airline Revenues per EPAX (a)	\$ 20.68	\$ 19.49	\$ 1.19	6.1%	\$ 19.32	1.36	7.0%
Operating Ratio	78.7%	82.0%	-3.2%	-4.0%	85.1%	-0.06	-7.5%
Days Cash On Hand	510	452	58	12.9%	483	27	5.7%
Federal Stimulus	\$ 8,216,742	\$ 12,597,281	\$ (4,380,539)	-34.8%	\$ 966,745	7,249,997	749.9%

(a) Excludes cost reimbursement for the Baggage Handling System (BHS) paid by the airlines.

Enplaned Passengers

Enplaned passengers for the first ten months of FY2023-24 were 1,927,721, a 4.6% increase compared to the corresponding period in the prior fiscal year and 6.3% less than the budget forecast. Enplaned passengers are critical to non-airline revenues, such as public parking, rental car concessions, food and beverage concessions, gaming, etc.

Airline Cost per Enplaned Passenger (CPE)

This ratio represents airline payments for use of airport facilities including landing fees, terminal rents, and baggage handling systems, in accordance with the adopted rates and charges methodology as outlined in the new airline lease agreement. RTAA targets to maintain a reasonable cost structure for airlines operating at RNO to attract and maintain air service to our community. With actual operating expenses 7.7% below budget, lower passenger traffic, and the \$3.70 revenue share credit per enplaned passenger, the signatory airline CPE is estimated to be \$10.28 as compared to the FY 2023-24 budget of \$9.76.

Non-Airline Revenue per Enplaned Passenger

This ratio represents operating revenues derived from sources other than the airlines, divided by enplaned passengers for the fiscal year. It measures operating revenue capacity from various sources including terminal rents, rental car concession fees, public parking, and land and building rents from non-airline facilities at both airports. Based on actual results for the first ten months of FY 2023-24, the non-airline revenue per enplaned passenger was \$20.68, 7.0% higher than the budgeted amount of \$19.32. This increase is primarily due to higher revenues from concessions, building and land rents, and aircraft fees.

Operating Ratio

The Operating Ratio is calculated by dividing operating and maintenance expenses by total operating revenues. This ratio indicates whether the level of operating expenses as a proportion of operating revenues are consistent and tracking with the approved expenditures and revenues adopted in the budget. Generally, a lower ratio of expenses to revenues is positive since it reflects an improvement in the net operating revenues available to pay debt service and generate additional cash flow. Based on the first ten months of FY 2023-24, the operating ratio was 78.7% as compared to the higher ratio in the prior year of 82.0%, and the adopted budget of 85.1%. These results compared to the budget reflect the lower operating expenses through April 2024.

Days Cash on Hand (DCOH)

DCOH is an important measure of liquidity. It is calculated by dividing unrestricted cash and investments by the daily operating and maintenance expenditure budget (annual operating and maintenance budget divided by 365 days). As of April 30, 2024, RTAA's DCOH was 510 days, approximately 27 days lower than the FY 2023-24 budget forecast. RTAA's policy is a desired target of 365 days. The 2021 median average, as compiled by Moody's Investor Services, is 794 for medium hub airports.

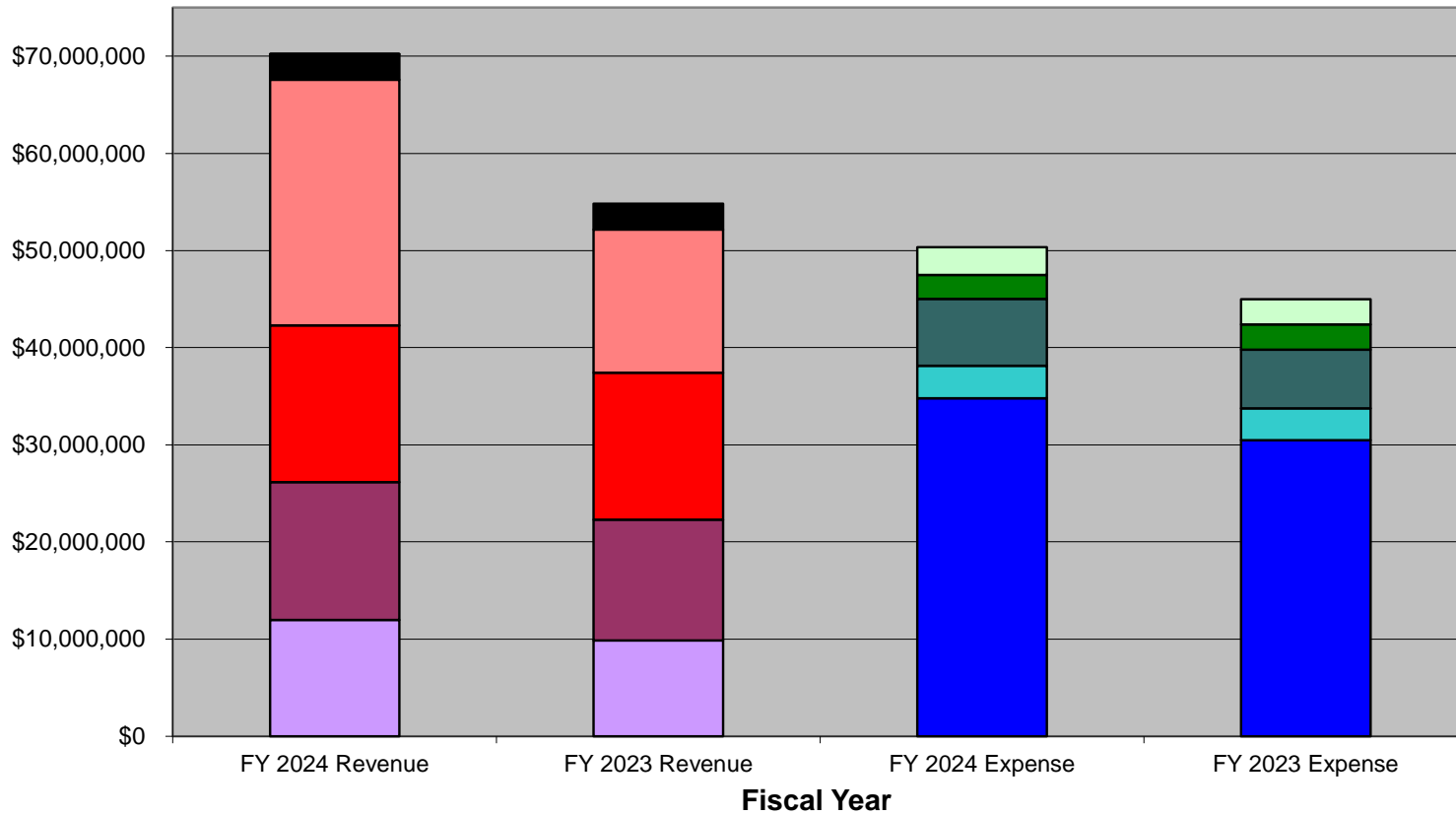
OPERATING STATEMENT
RENO-TAHOE AIRPORT AUTHORITY
For the Ten Months Ending April 30, 2024

	CURRENT MONTH				For the Ten Months Ending April 30, 2024						
	CURRENT YEAR	PRIOR YEAR	VARIANCE	%	CURRENT YEAR	PRIOR YEAR	VARIANCE	%	83.33%	OF FISCAL YEAR	
									Y-T-D BUDGET	VARIANCE	%
REVENUES											
Landing Fees	\$ 1,072,959	\$ 849,805	\$ 223,155	26.3%	\$ 10,825,170	\$ 8,912,735	\$ 1,912,435	21.5%	\$ 11,572,608	\$ (747,438)	-6.5%
Terminal Rent, Airline	1,709,669	704,360	1,005,309	142.7%	16,989,155	7,340,041	9,649,114	131.5%	16,846,500	142,655	0.8%
Airline Revenue Sharing	(597,539)	0	(597,539)	n.a.	(6,370,013)	0	(6,370,013)	n.a.	(6,694,117)	324,105	-4.8%
Aircraft Fees	114,195	85,994	28,201	32.8%	1,140,977	943,025	197,952	21.0%	1,008,605	132,372	13.1%
Concession Revenue	528,189	512,900	15,289	3.0%	5,527,976	3,718,805	1,809,171	48.6%	5,268,366	259,611	4.9%
Auto Rental	707,444	735,087	(27,644)	-3.8%	8,656,465	8,741,428	(84,963)	-1.0%	9,007,378	(350,912)	-3.9%
Parking & Ground Transportation	1,731,097	1,545,093	186,003	12.0%	16,133,192	15,098,390	1,034,803	6.9%	16,567,702	(434,509)	-2.6%
Reno-Tahoe Building/ Land Rents	759,631	651,718	107,913	16.6%	7,123,789	6,451,741	672,048	10.4%	6,980,965	142,824	2.0%
Reno-Stead Rents	136,384	99,335	37,050	37.3%	1,172,683	960,762	211,921	22.1%	818,667	354,016	43.2%
Reimbursed Services	230,979	279,580	(48,601)	-17.4%	2,629,547	2,666,899	(37,351)	-1.4%	2,598,770	30,777	1.2%
Miscellaneous	4,529	5,059	(529)	-10%	107,705	46,820	60,886	130.0%	82,333	25,372	30.8%
OPERATING REVENUE	\$ 6,397,538	\$ 5,468,931	\$ 928,607	17.0%	\$ 63,936,650	\$ 54,880,646	\$ 9,056,003	16.5%	\$ 64,057,776	\$ (121,126)	-0.2%
EXPENSES											
Personnel Services	\$ 3,371,230	\$ 3,040,904	\$ 330,326	10.9%	\$ 34,767,935	\$ 30,455,297	\$ 4,312,638	14.2%	\$ 35,234,336	\$ (466,401)	-1.3%
Utilities and Communications	310,006	338,878	(28,872)	-8.5%	3,365,057	3,311,015	54,043	1.6%	3,768,389	(403,332)	-10.7%
Purchased Services	699,928	657,917	42,011	6.4%	6,906,488	6,018,580	887,908	14.8%	8,848,118	(1,941,630)	-21.9%
Materials and Supplies	156,099	202,633	(46,534)	-23.0%	2,442,410	2,607,556	(165,146)	-6.3%	2,713,527	(271,117)	-10.0%
Administrative Expense	283,172	319,372	(36,199)	-11.3%	2,857,535	2,596,566	260,968	10.1%	3,973,878	(1,116,344)	-28.1%
OPERATING EXPENSES	\$ 4,820,435	\$ 4,559,703	\$ 260,732	5.7%	\$ 50,339,425	\$ 44,989,014	\$ 5,350,411	11.9%	\$ 54,538,249	\$ (4,198,824)	-7.7%
NET OPERATING INC. BEFORE DEPR.	\$ 1,577,103	\$ 909,228	\$ 667,875	73.5%	\$ 13,597,224	\$ 9,891,632	\$ 3,705,592	37.5%	\$ 9,519,527	\$ 4,077,698	42.8%
Depreciation and Amortization	2,037,642	1,945,945	91,697	4.7%	19,840,816	20,349,235	(508,419)	-2.5%	23,332,400	(3,491,584)	-15.0%
OPERATING INCOME	\$ (460,539)	\$ (1,036,717)	\$ 576,178	55.6%	\$ (6,243,592)	\$ (10,457,602)	\$ 4,214,010	40.3%	\$ (13,812,873)	\$ 7,569,282	54.8%
NON-OPERATING INCOME (EXPENSE)											
Interest Income	\$ 329,850	\$ 168,641	\$ 161,209	95.6%	\$ 2,773,380	\$ 1,301,147	\$ 1,472,233	113.1%	\$ 1,009,250	1,764,130	174.8%
Passenger Facility Charge	823,280	751,523	71,757	9.5%	7,813,428	6,910,377	903,050	13.1%	7,828,833	(15,406)	-0.2%
Customer Facility Charge	0	640,732	(640,732)	-100.0%	7,919,364	6,363,424	1,555,941	24.5%	7,884,566	34,798	0.4%
Jet Fuel Tax Revenue	23,000	22,250	750	3.4%	239,918	254,618	(14,700)	-5.8%	248,667	(8,748)	-3.5%
Federal Grant Revenue	1,225,330	394,483	830,847	n.a.	8,216,742	12,597,281	(4,380,539)	-34.8%	966,745	7,249,997	749.9%
G/L on Sale of Capital Assets	3,989	8,714	(4,725)	-54.2%	69,825	10,871	58,954	542.3%	0	69,825	n.a.
Other Non-Operating Revenue (Expense)	0	0	0	n.a.	16,598	(135,000)	151,598	-112.3%	(166,660)	183,258	-110.0%
Interest Expense	(79,593)	(7,648)	(71,945)	940.7%	(559,546)	(108,177)	(451,369)	417.2%	(925,396)	365,850	-39.5%
Total	\$ 2,325,856	\$ 1,978,695	\$ 347,161	17.5%	\$ 26,489,709	\$ 27,194,540	\$ (704,831)	-2.6%	\$ 16,846,005	\$ 9,643,703	57.2%
Net Income Before Capital Contributions	\$ 1,865,317	\$ 941,978	\$ 923,339	98.0%	\$ 20,246,117	\$ 16,736,938	\$ 3,509,180	21.0%	\$ 3,033,132	\$ 17,212,985	567.5%

OPERATING STATEMENT
RENO-TAHOE AIRPORT AUTHORITY
For the Ten Months Ending April 30, 2024

	CURRENT MONTH				YEAR TO DATE				ANNUAL BUDGET	
	ACTUAL	BUDGET	VARIANCE		ACTUAL	BUDGET	VARIANCE		TOTAL	ANNUAL BUDGET % TO DATE
			\$	%			\$	%		
REVENUES										
Landing Fees	\$ 1,072,959	\$ 1,135,525	\$ (62,566)	-5.5%	\$ 10,825,170	\$ 11,572,608	\$ (747,438)	-6.5%	\$ 14,007,453	77%
Terminal Rent, Airline	1,709,669	1,684,650	25,019	1.5%	\$ 16,989,155	16,846,500	142,655	0.8%	20,215,800	84%
Airline Revenue Sharing	(597,539)	(658,758)	61,219	-9.3%	\$ (6,370,013)	(6,694,117)	324,105	-4.8%	(8,180,400)	78%
Aircraft Fees	114,195	100,861	13,334	13.2%	\$ 1,140,977	1,008,605	132,372	13.1%	1,210,326	94%
Concession Revenue	528,189	519,027	9,162	1.8%	\$ 5,527,976	5,268,366	259,611	4.9%	6,378,460	87%
Auto Rental	707,444	883,104	(175,661)	-19.9%	\$ 8,656,465	9,007,378	(350,912)	-3.9%	10,936,255	79%
Parking & Ground Transportation	1,731,097	1,625,560	105,536	6.5%	\$ 16,133,192	16,567,702	(434,509)	-2.6%	20,106,733	80%
Reno-Tahoe Building/ Land Rents	759,631	698,097	61,535	8.8%	\$ 7,123,789	6,980,965	142,824	2.0%	8,377,158	85%
Reno-Stead Rents	136,384	81,867	54,517	66.6%	\$ 1,172,683	818,667	354,016	43.2%	982,400	119%
Reimbursed Services	230,979	256,512	(25,533)	-10.0%	\$ 2,629,547	2,598,770	30,777	1.2%	3,142,836	84%
Miscellaneous	4,529	8,233	(3,704)	-45.0%	\$ 107,705	82,333	25,372	30.8%	98,800	109%
OPERATING REVENUE	\$ 6,397,538	\$ 6,334,678	\$ 62,860	1.0%	\$ 63,936,650	\$ 64,057,776	\$ (121,126)	-0.2%	\$ 77,275,821	83%
EXPENSES										
Personnel Services	\$ 3,371,230	\$ 3,515,369	\$ (144,139)	-4.1%	\$ 34,767,935	\$ 35,234,336	\$ (466,401)	-1.3%	\$ 42,186,759	82%
Utilities and Communications	310,006	384,349	(74,343)	-19.3%	\$ 3,365,057	3,768,389	(403,332)	-10.7%	4,543,050	74%
Purchased Services	699,928	810,253	(110,326)	-13.6%	\$ 6,906,488	8,848,118	(1,941,630)	-21.9%	9,917,771	70%
Materials and Supplies	156,099	263,597	(107,498)	-40.8%	\$ 2,442,410	2,713,527	(271,117)	-10.0%	3,220,834	76%
Administrative Expense	283,172	394,733	(111,561)	-28.3%	\$ 2,857,535	3,973,878	(1,116,344)	-28.1%	4,716,531	61%
OPERATING EXPENSES	\$ 4,820,435	\$ 5,368,301	\$ (547,866)	-10.2%	\$ 50,339,425	\$ 54,538,249	\$ (4,198,824)	-7.7%	\$ 64,584,945	78%
NET OPERATING INC. BEFORE DEPR.	\$ 1,577,103	\$ 966,377	\$ 610,726	63.2%	\$ 13,597,224	\$ 9,519,527	\$ 4,077,698	42.8%	\$ 12,690,876	107%
Depreciation and Amortization	2,037,642	2,333,333	(295,691)	-12.7%	19,840,816	23,332,400	(3,491,584)	-15.0%	28,000,000	71%
OPERATING INCOME	\$ (460,539)	\$ (1,366,956)	\$ 906,417	66.3%	\$ (6,243,592)	\$ (13,812,873)	\$ 7,569,282	54.8%	\$ (15,309,124)	41%
NON-OPERATING INCOME (EXPENSE)										
Interest Income	\$ 329,850	\$ 100,925	\$ 228,925	226.8%	\$ 2,773,380	\$ 1,009,250	\$ 1,764,130	174.8%	1,211,100	229%
Passenger Facility Charge	823,280	782,883	40,397	5.2%	\$ 7,813,428	7,828,833	(15,406)	-0.2%	9,394,600	83%
Customer Facility Charge	0	773,021	(773,021)	-100.0%	\$ 7,919,364	7,884,566	34,798	0.4%	9,573,000	83%
Jet Fuel Tax Revenue	23,000	24,867	(1,867)	-7.5%	\$ 239,918	248,667	(8,748)	-3.5%	298,400	80%
Federal Stimulus	1,225,330	96,675	1,128,655	1167.5%	\$ 8,216,742	966,745	7,249,997	749.9%	1,160,094	708%
G/L on Sale of Capital Assets	3,989	0	3,989	n.a.	\$ 69,825.05	0	69,825	n.a.	0	n.a.
Other Non-Operating Revenue (Expense)	0	(16,667)	16,667	-100.0%	\$ 16,598	(166,660)	183,258	-110.0%	(200,000)	-8%
Interest Expense	(79,593)	(92,543)	12,950	-14.0%	\$ (559,546)	(925,396)	365,850	-39.5%	(1,110,519)	50%
Total	\$ 2,325,856	\$ 1,669,161	\$ 656,695	39.3%	\$ 26,489,709	\$ 16,846,005	\$ 9,643,703	57.2%	\$ 20,326,675	130%
Net Income Before Capital Contributions	\$ 1,865,317	\$ 302,205	\$ 1,563,113	517.2%	\$ 20,246,117	\$ 3,033,132	\$ 17,212,985	567.5%	\$ 5,017,551	404%

Operating Revenue and Expense YTD through April 30 2024



- Landing fees revenue
- Parking and ground transportation revenue
- Reimbursements for services revenue
- Employee wages and benefits expense
- Purchase of services expense
- Administrative expenses
- Concession revenue
- Rentals revenue
- Other revenue
- Utilities and communications expense
- Materials and supplies expense

SUMMARY OF NON-AIRLINE REVENUES

Reno-Tahoe Airport Authority

	4/30/2024		Over (Under) Prior Year		4/30/2024		Over (Under) Budget		2023-24	
	YTD Actual	YTD Actual		% Variance	Year to Date Budget		% Variance	Annual Budget	% of Annual Budget	
Aircraft Fees - Reno	\$ 1,125,985	\$ 925,809	\$ 200,176	21.6%	959,688	\$ 166,296	17.3%	1,151,625	97.8%	
Aircraft Fees - Stead	14,993	17,217	(2,224)	-12.9%	48,917	(33,924)	-69.4%	58,700	25.5%	
Gaming Concession	1,163,918	785,892	378,027	0.48101638	1,151,628	12,290	1.1%	1,398,243	83.2%	
Food & Beverage	1,709,352	1,041,811	667,541	64.1%	1,829,674	(120,322)	-6.6%	2,221,488	76.9%	
Retail/Merchandise	1,032,074	496,389	535,685	107.9%	1,007,706	24,368	2.4%	1,223,500	84.4%	
Advertising	703,917	641,740	62,177	9.7%	693,303	10,613	1.5%	831,964	84.6%	
Other Concessions	148,010	84,672	63,338	74.8%	120,471	27,539	22.9%	144,565	102.4%	
FBO and Ground Handlers	730,072	630,274	99,798	15.8%	436,667	293,405	67.2%	524,000	139.3%	
Stead Concessions	40,634	38,028	2,606	6.9%	28,917	11,717	40.5%	34,700	117.1%	
Auto Rental	8,656,465	8,741,428	(84,963)	-1.0%	9,007,378	(350,912)	-3.9%	10,936,255	79.2%	
Ground Transportation	829,812	561,648	268,164	47.7%	808,636	21,176	2.6%	977,700	84.9%	
Auto Parking	15,303,380	14,536,742	766,638	5.3%	15,759,066	(455,685)	-2.9%	19,129,032	80.0%	
Other Terminal Rents	918,908	702,297	216,611	30.8%	874,083	44,825	5.1%	1,048,900	87.6%	
Reno-Tahoe Building Rents	2,717,977	2,795,516	(77,539)	-2.8%	2,607,643	110,335	4.2%	3,129,171	86.9%	
Reno-Tahoe Land Rents	3,486,904	2,953,928	532,976	18.0%	3,499,239	(12,335)	-0.4%	4,199,087	83.0%	
Reno-Stead Rents	1,172,683	960,762	211,921	22.1%	818,667	354,016	43.2%	982,400	119.4%	
Reimbursed Services	2,629,547	2,666,899	(37,351)	-1.4%	2,598,770	30,777	1.2%	3,142,836	83.7%	
Miscellaneous	107,705	46,820	60,886	130.0%	82,333	25,372	30.8%	98,800	109.0%	
Total Non-Airline Operating Revenue	42,492,337	38,627,870	3,864,466	10.0%	42,332,785	159,551	0.4%	51,232,966	82.9%	
Non Operating Revenue (a)	3,099,721	1,566,636	1,533,086	97.9%	1,048,833	2,050,888	195.5%	1,258,600	246.3%	
TOTAL NON-AIRLINE REVENUE	\$ 45,592,058	\$ 40,194,506	\$ 5,397,552	13.4%	\$ 43,381,618	\$ 2,210,440	5.1%	\$ 52,491,566	86.9%	
Year to Date Enplaned Passengers	1,927,721	1,842,690			2,056,479			2,496,862		
Non-Airline Revenue Per EPAX (b)	\$ 20.68	\$ 19.52			\$ 19.32			\$ 19.26		
Non-Airline Revenue Per EPAX (c)	\$ 11.66	\$ 10.78			\$ 10.73			\$ 10.68		

(a) Excludes PFC and CFC revenues

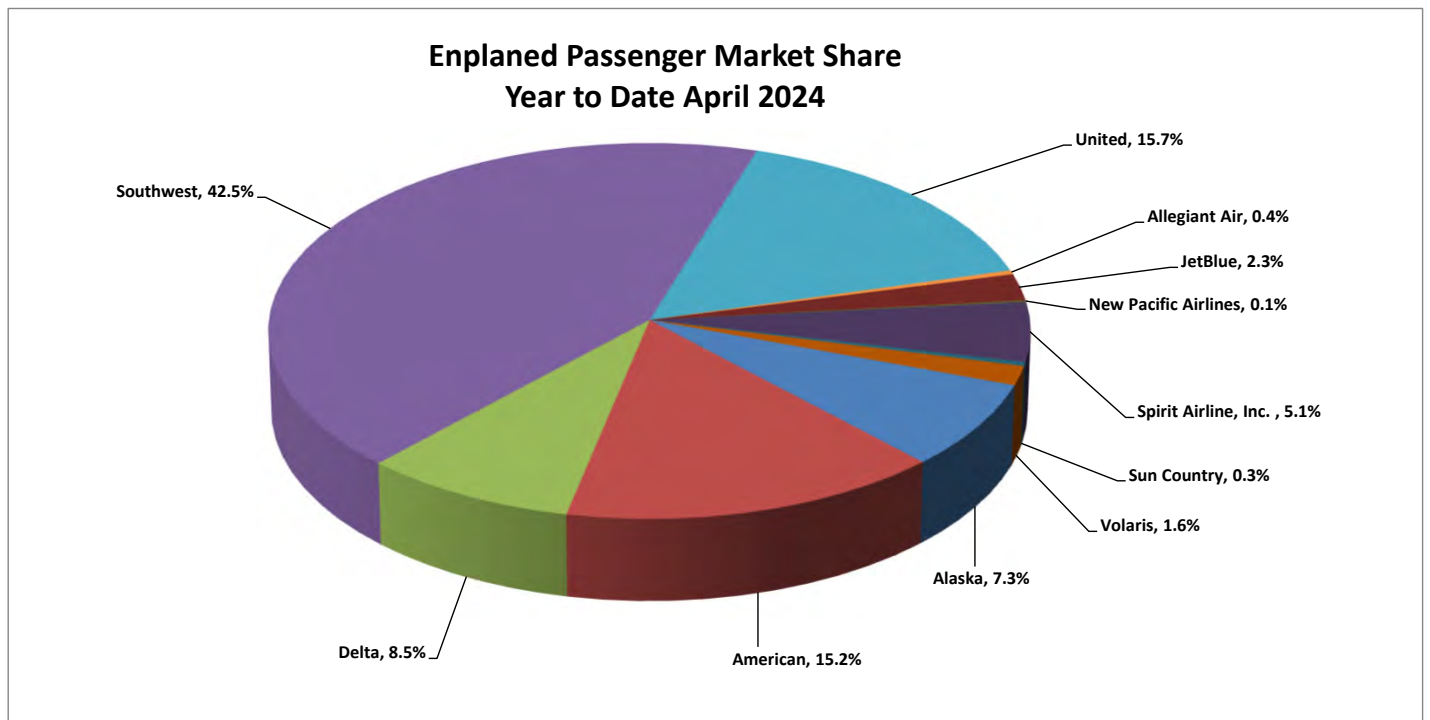
(b) Total Non-Airline Revenue less Reimbursed Services divided by enplaned passengers

(c) Non-Airline Revenue (Concessions, Rental Car, Other Rents) Per Enplaned Passenger (Strategic Plan Measure)

SUMMARY OF ENPLANED PASSENGERS BY AIRLINE

Reno-Tahoe International Airport

Enplaned passengers by Airline	Month			Year-to-date		
	Apr-24	Apr-23	Percent change	YTD 2023-24	YTD 2022-23	Percent change
Major/national carriers (Signatory)						
Aha!	0	0	n.a.	0	5,407	-100.0%
Alaska	12,790	12,460	2.6%	141,212	125,893	12.2%
American	29,383	29,096	1.0%	293,521	287,744	2.0%
Delta	15,210	18,040	-15.7%	164,742	165,167	-0.3%
Southwest	75,292	79,857	-5.7%	819,558	797,205	2.8%
United	28,822	22,704	26.9%	302,932	277,805	9.0%
Total	161,497	162,157	-0.4%	1,721,965	1,659,221	3.8%
Non-Signatory and Charter						
Allegiant Air	0	1,240	-100.0%	6,753	12,798	-47.2%
Frontier	0	0	n.a.	0	14,980	-100.0%
JetBlue	2,586	2,545	1.6%	44,243	43,515	1.7%
New Pacific Airlines, Inc.	0	0	n.a.	2,134	0	n.a.
Spirit Airlines	10,758	7,948	35.4%	97,865	69,907	40.0%
Sun Country Airlines	1,900	0	n.a.	6,659	0	n.a.
Volaris	2,279	2,141	6.4%	31,367	26,705	17.5%
Other Charters	0	1,634	-100.0%	16,735	15,564	7.5%
Total	17,523	15,508	13.0%	205,756	183,469	12.1%
Total enplaned passengers	179,020	177,665	0.8%	1,927,721	1,842,690	4.6%



RTAA Liquidity Position

